

**PLANNING BOARD AGENDA
CONDUCTED WITH ZOOM
OCTOBER 06, 2020 7:00 PM – TUESDAY**

Join Zoom Meeting

<https://zoom.us/j/2610095007?pwd=d01aMVlrY0hINVFGd25RcGpyZS83QT09>

OR

Tel – 1-646 876 9923 US (New York)

ID # 261 009 5007

Password 281 797

Please take notice that the Manasquan Planning Board will convene a remote meeting on October 06, 2020 7:00 PM. (The Board had previously advertised the said meeting, but the within notice is being re-advertised so as to publicize the remote nature of the same.) Due to the Coronavirus/COVID-19 Borough and State Directives, the said meeting is being held remotely, through a web-meeting conference communication system. The remote meeting format will allow Board Members and the Public to simultaneously hear, listen to, participate in, digest, observe, comment on, and/or otherwise object to any and all Board decisions/actions. The remote meeting format, as aforesaid, will allow the Borough's Planning Board to conduct business, without violating any Executive Orders, without violating any COVID-19 Health and Safety Protocol, and while still complying with the spirit and intent of Prevailing Provisions of New Jersey Law. (Please note that the public access to the Municipal Building is not currently permitted).

Members of the public are welcome to, and encouraged to, participate by observing/participating in the remote meeting. The meeting will be held via Zoom. You can access the meeting through the Zoom App via a smartphone or tablet, via a special link on your computer, or by telephone. Note the information printed above.

PUBLIC MEETING

Salute to the Flag

Roll Call

Sunshine Law Announcement

OLD/NEW BUSINESS

- [1.](#) GEORGE MCGILL - LEGAL VOUCHERS OCTOBER
- [2.](#) BORO ENGINEERING OCTOBER VOUCHERS
- [3.](#) August 18 2020 Minutes
- [4.](#) RESOLUTION #19-2020 BROWN, MIKE & TRISH 123 MCLEAN AVENUE
- [5.](#) APPLICATION #17-2020 BELLERAN 27 MAIN STREET SUBDIVISION
- [6.](#) APPLICATION #20-2020 MARAZITTI RHONDA - 22, 22 1/2 PARKER AVENUE
- [7.](#) Application #22-2020 Squan Coast, LLC - McConnell - 50 Ocean Avenue
- [8.](#) APP #10-2020 34 BROAD STREET SEPE PRELIMINARY AND FINAL SITE PLAN
- [9.](#) Evan Shadlun request for Extension

OTHER BUSINESS

Comments from individual board members

ADJOURNMENT

PURCHASE ORDER NUMBER This number must appear on Invoices, B/L, Bundles, Cases, Packing List, Delivery Receipts and all Correspondence.

BOROUGH OF MANASQUAN
201 EAST MAIN STREET
MANASQUAN, NJ 08736

PAYMENT RECORD

DATE _____

CHECK NO. _____

P.O.#: _____

Vendor #: _____

SHIP TO: Borough of Manasquan
 201 East Main St
 Manasquan, NJ 08736

IRS #21-6000820-TAX EXEMPT UNDER
 PROVISION OF NJ SALES & USE TAX
 ACT (CHAPTER 30, LAW OF 1966).

DATE _____

DATE REQUIRED _____

STATE CONTRACT# _____

IF FURTHER INFORMATION IS REQUIRED
 CONTACT PURCHASING OFFICE (732) 223-2292

VENDOR: George D. McGill, Esq.
 McGill&Hall, LLC
 708 10th Ave
 Belmar, NJ, 07719

NOTICE: COMPLETE SHIPMENT OF ALL ITEMS IS DESIRED, PARTIAL DELIVERY PAYMENT WILL BE MADE ONLY WHERE DISCOUNT APPLIES.

QUANTITY/ UNIT	DESCRIPTION	ACCOUNT NO.	UNIT PRICE	AMOUNT
	Prof-Legal Services Borough of Manasquan Planning Board Fees for professional legal fees rendered Gablemann v. Planning Board As described in Invoice 10437			<u>\$751.00</u>
	_____ AMY SPERA, CFO			

VENDOR: THIS VOUCHER SHALL BE SIGNED & RETURNED TO THE TOWNSHIP TREASURER WITH YOUR INVOICE.

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VENDOR'S CERTIFICATION AND DECLARATION

I do solemnly declare under the penalties of the Law that the within bill is correct in all its particulars: that the articles have been furnished or services rendered as stated therein; that no bonus has been given or received by any person or persons within the knowledge of this claimant in connection with the above claim; that the amount therein stated is justly due and owing; and that the amount charged is a reasonable one

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SIGNATURE _____

SIGNATURE _____ (FINANCE CHAIRMAN)

POSITION Board Attorney DATE 10-1-2010

SIGNATURE _____ (FINANCE COMMITTEE)

SOCIAL SECURITY NO. _____

SIGNATURE _____ (FINANCE COMMITTEE)

EMPLOYER I.D. # _____ CORPORATION: YES NO

McGill and Hall, L.L.C.
P.O. Box 150
708 10th Avenue, Second Floor
Belmar, NJ 07719

INVOICE

Manasquan, Planning Board of the Borough of
201 East Main Street
Manasquan, NJ 08736

Invoice 10437

Date	Oct 01, 2020
Terms	
Service Thru	Oct 01, 2020

In Reference To: Gabelmann vs. Planning Board (work)

Date	By	Services	Hours	Rates	Amount
11/06/2019	GDM	Preparation: Review of order and preparation of notes for discussion with the Board.	0.50	\$ 120.00/hr	\$ 60.00
04/14/2020	GDM	Correspondence: Receipt and review of Letter from McLaughlin attorney Laurence Shapiro, Esq., asserting the frivolous nature of the Gabelmann complaint. Tcw Laurence Shapiro.	0.20	\$ 120.00/hr	\$ 24.00
06/03/2020	GDM	Draft: Review Complaint, review of letter from Laurence Shapiro, Esq., to Ed Liston, Esq. and letter from Ed Liston, Esq., to Shapiro; Prepare Answer, efile matter with Court, email to Boro of Manasquan	1.70	\$ 120.00/hr	\$ 204.00
08/25/2020	GDM	Preparation: Review pre-trial statements from Gabelmanns' attorney Ed Liston, Esq., and from Joan McLaughlin's Attorney Laurence Shapiro, Esq.,; outline argument to present before the Court at virtual meeting.	1.00	\$ 120.00/hr	\$ 120.00
08/25/2020	GDM	Court Time: Appear on Zoom Conference for pre-trial conference with Judge Thornton.	1.40	\$ 120.00/hr	\$ 168.00

In Reference To: Gabelmann vs. Planning Board (Expenses)

Date	By	Expenses	Amount
06/03/2020	GDM	Filing Fee: Fee of filing an Answer	\$ 175.00

Total Hours	4.80 hrs
Total work	\$ 576.00
Total Expenses	\$ 175.00
Total Invoice Amount	\$ 751.00

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INVOICE

Manasquan, Planning Board of the Borough of
201 East Main Street
Manasquan, NJ 08736

Invoice 10437

Date	Oct 01, 2020
Terms	
Service Thru	Oct 01, 2020

Previous Balance \$ 132.00

Balance (Amount Due) \$ 751.00

Payment History:

Date	Type	Payment Description	Amount
01/07/2020	Payment - Check	Split Payment	(\$132.00)

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BOROUGH OF MANASQUAN
201 EAST MAIN STREET
MANASQUAN, NJ 08736

PAYMENT RECORD

DATE _____
 CHECK NO. _____

P.O.#: _____ **Vendor #:** _____

SHIP TO: Borough of Manasquan
 201 East Main St
 Manasquan, NJ 08736

IRS #21-6000820-TAX EXEMPT UNDER
 PROVISION OF NJ SALES & USE TAX
 ACT (CHAPTER 30, LAW OF 1966).

VENDOR: George D. McGill, Esq.
 McGill&Hall, LLC
 708 10th Ave
 Belmar, NJ, 07719

DATE _____
 DATE REQUIRED _____
 STATE CONTRACT# _____
 IF FURTHER INFORMATION IS REQUIRED
 CONTACT PURCHASING OFFICE (732) 223-2292

NOTICE: COMPLETE SHIPMENT OF ALL ITEMS IS DESIRED, PARTIAL DELIVERY PAYMENT WILL BE MADE ONLY WHERE DISCOUNT APPLIES.

QUANTITY/ UNI I	DESCRIPTION	ACCOUNT NO.	UNIT PRICE	AMOUNT
	Prof-Legal Services Borough of Manasquan Planning Board Fees for professional legal fees rendered Sepe Application As described in invoice 10438			<u>\$432.00</u>
	_____ AMY SPERA, CFO			

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VENDOR'S CERTIFICATION AND DECLARATION

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The items specified in the above account were necessary for the purposes of this department and were authorized by the undersigned, in conformity with the ordinances of Borough of Manasquan for the use and benefit of said Borough. Each item has been received and its quality is as ordered. The work specified has been properly done and each price charged is correct. No price is higher than the prevailing market price as far as we can ascertain, or more than the contract price.

SIGNATURE _____

SIGNATURE _____ (FINANCE CHAIRMAN)

POSITION Board Attorney DATE 10-1-20

SIGNATURE _____ (FINANCE COMMITTEE)

SOCIAL SECURITY NO. _____

SIGNATURE _____ (FINANCE COMMITTEE)

EMPLOYER I.D. # _____ CORPORATION: YES NO

McGill and Hall, L.L.C.
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Belmar, NJ 07719

INVOICE

Manasquan, Planning Board of the Borough of
201 East Main Street
Manasquan, NJ 08736

Invoice 10438

Date	Oct 01, 2020
Terms	
Service Thru	Oct 01, 2020

In Reference To: Sepe, Broad and Union Site Plans (work)

Date	By	Services	Hours	Rates	Amount
02/05/2020	GDM	Matter Management: Review of specific ordinances adopted for the Union and Broad Street projects for the purpose of looking at the 80 foot storage issue, review of Bor. Ord. 35-7.9 regarding additional requirements for multi-family units, email to Al Yodakis, tcw Al Yodakis; Email to Erik Nolan regarding what may be necessary upon relocation of the detention basin, tcw Erik Nolan regarding detention basin issue. Memos to file regarding both the 80 square foot issue and the relocation issue, email to chair.	1.50	\$ 120.00/hr	\$ 180.00
03/26/2020	GDM	Matter Management: Tcw Jen Beahm regarding the proposed plan, the ordinance and the review process as to changes.	0.30	\$ 120.00/hr	\$ 36.00
04/16/2020	GDM	Matter Management: Tcw John Sarto regarding the status of the project and discussion of remote scheduling.	0.30	\$ 120.00/hr	\$ 36.00
04/16/2020	GDM	Correspondence: Prepare email with statement of status of this matter to Chair, Secretary and Engineer. Receipt of response from Chair.	0.20	\$ 120.00/hr	\$ 24.00
07/09/2020	GDM	Documentation: Receipt of email from Applicants attorney regarding moving forward, document file.	0.20	\$ 120.00/hr	\$ 24.00
08/25/2020	GDM	Matter Management: Email correspondence with John Sarto Esq., regarding the hearing of both matters together, Review of ordinance for conditions, tcw Neil Hamilton, tcw John Sarto, Esq.	0.70	\$ 120.00/hr	\$ 84.00
08/26/2020	GDM	Matter Management: Receipt of email correspondence with John Sarto Esq., regarding moving forward.	0.20	\$ 120.00/hr	\$ 24.00

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INVOICE

Manasquan, Planning Board of the Borough of
201 East Main Street
Manasquan, NJ 08736

Invoice 10438

Date	Oct 01, 2020
Terms	
Service Thru	Oct 01, 2020

08/26/2020	GDM	Correspondence: Receipt and review of email and report of Al Yodakis, P.E.	0.20	\$ 120.00/hr	\$ 24.00
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Total Hours	3.60 hrs
Total work	\$ 432.00
Total Invoice Amount	\$ 432.00
Previous Balance	\$ 0.00
Balance (Amount Due)	\$ 432.00

PURCHASE ORDER NUMBER This number must appear on Invoices, B/L, Bundles, Cases, Packing List, Delivery Receipts and all Correspondence.

BOROUGH OF MANASQUAN
201 EAST MAIN STREET
MANASQUAN, NJ 08736

PAYMENT RECORD

DATE _____
 CHECK NO. _____

P.O.#: _____ **Vendor #:** _____

SHIP TO: Borough of Manasquan
 201 East Main St
 Manasquan, NJ 08736

IRS #21-6000820-TAX EXEMPT UNDER
 PROVISION OF NJ SALES & USE TAX
 ACT (CHAPTER 30, LAW OF 1966).

VENDOR: George D. McGill, Esq.
 McGill&Hall, LLC
 708 10th Ave
 Belmar, NJ, 07719

DATE _____
 DATE REQUIRED _____
 STATE CONTRACT# _____
 IF FURTHER INFORMATION IS REQUIRED
 CONTACT PURCHASING OFFICE (732) 223-2292

NOTICE: COMPLETE SHIPMENT OF ALL ITEMS IS DESIRED, PARTIAL DELIVERY PAYMENT WILL BE MADE ONLY WHERE DISCOUNT APPLIES.

QUANTITY/ UNIT	DESCRIPTION	ACCOUNT NO.	UNIT PRICE	AMOUNT
	Prof-Legal Services Borough of Manasquan Planning Board General Account Fees for professional legal fees rendered Borough Account - Planning Board of the Borough of Manasquan As described in invoice 10439			\$246.00
	AMY SPERA, CFO			

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SIGNATURE _____
 POSITION Board Attorney DATE 10-15-2010
 SOCIAL SECURITY NO. _____
 EMPLOYER I.D. # _____ CORPORATION: YES NO

SIGNATURE _____ (FINANCE CHAIRMAN)
 SIGNATURE _____ (FINANCE COMMITTEE)
 SIGNATURE _____ (FINANCE COMMITTEE)

McGill and Hall, L.L.C.
P.O. Box 150
708 10th Avenue, Second Floor
Belmar, NJ 07719

INVOICE

Manasquan, Planning Board of the Borough of
201 East Main Street
Manasquan, NJ 08736

Invoice 10439

Date	Oct 01, 2020
Terms	
Service Thru	Oct 01, 2020

In Reference To: Borough Account - Planning Board of the Borough of Manasquan (work)

Date	By	Services	Hours	Rates	Amount
09/01/2020	GDM	Meeting: Appear at the Virtual meeting of the planning Board.	Flat Fee	\$ 150.00	\$ 150.00
09/02/2020	GDM	Draft: Prepare Letter to Mayor and Council in review of Borough Ordinances 2311 through 2314.	0.60	\$ 120.00/hr	\$ 72.00
09/10/2020	GDM	Matter Management: Participate in email exchange regarding moving forward indoor.	0.20	\$ 120.00/hr	\$ 24.00

Total Hours	0.80 hrs
Total work	\$ 246.00
Total Invoice Amount	\$ 246.00
Previous Balance	\$ 1,044.00
Balance (Amount Due)	\$ 246.00

Payment History:

Date	Type	Payment Description	Amount
09/14/2020	Payment - Check	Split Payment	(\$654.00)
10/01/2020	Payment - Check	Split Payment	(\$390.00)

PURCHASE ORDER NO

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BOROUGH OF MANASQUAN
201 EAST MAIN STREET
MANASQUAN, NJ 08736

PAYMENT RECORD

DATE

CHECK NO.

P.O.#: Vendor #: B0280

SHIP TO: Borough of Manasquan
201 East Main St
Manasquan, NJ 08736

IRS #21-6000820-TAX EXEMPT UNDER
PROVISION OF NJ SALES & USE TAX
ACT (CHAPTER 30, LAW OF 1966).

DATE 6/26/20

DATE REQUIRED

VENDOR: BORO ENGINEERING, LLC
23 WEST LARCHMONT DR
COLTS NECK, NJ 07722

STATE CONTRACT#

IF FURTHER INFORMATION IS REQUIRED
CONTACT PURCHASING OFFICE (732) 223-2292

NOTICE: COMPLETE SHIPMENT OF ALL ITEMS IS DESIRED, PARTIAL DELIVERY PAYMENT WILL BE MADE ONLY WHERE DISCOUNT APPLIES.

QUANTITY/UNIT	DESCRIPTION	ACCOUNT NO.	UNIT PRICE	AMOUNT
	VAR - SHANNON - B185 L28 MSPB-R1250			\$ 593.75
	INVOICE MSPB1250-1	T-03-90-900-182		
	OLB app # 21-2020 Decrow		Total	\$ 593.75
	AMY SPERA, CFO			

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SIGNATURE [Signature]
POSITION President DATE 6/26/20

SIGNATURE _____ (FINANCE CHAIRMAN)

SIGNATURE _____ (FINANCE COMMITTEE)

SOCIAL SECURITY NO. _____

SIGNATURE _____ (FINANCE COMMITTEE)

EMPLOYER I.D. #47-1033113 CORPORATION: YES NO

Boro Engineering
23 W. Larchmont Drive
Colts Neck, NJ 07722

INVOICE

Manasquan Planning Board
201 East Main Street
Manasquan, NJ 08736

Page : 1
Invoice No: MSPB1250-1
Invoice Date: 6/26/2020

Attention: Mary Salerno

For Professional Services Processed through: 6/26/2020

RE: VAR Shannon - B185 L28

Services rendered are detailed on the attached sheets

LABOR	HOURS	RATE	AMOUNT
Principal	4.75 \$	125.00 \$	<u>593.75</u>
		TOTAL \$	593.75
		AMOUNT DUE THIS INVOICE \$	593.75

Invoice Detail

Invoice Number: MSPB1250-1

Invoice Date: 6/26/2020

VAR Shannon - B185 L28

Staff Charges: Labor

<u>Title</u>	<u>Person</u>	<u>Date of Service</u>	<u>Time Charged</u>	<u>Description</u>
Principal	Yodakis, Albert D.	5/20/2020	1.50	Completeness rev Technical review
Principal	Yodakis, Albert D.	5/26/2020	2.25	Zoning/tech rev Prep report
Principal	Yodakis, Albert D.	5/28/2020	1.00	Field rev Finalize report to Board

Total Principal: 4.75

PURCHASE ORDER NO

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BOROUGH OF MANASQUAN
201 EAST MAIN STREET
MANASQUAN, NJ 08736

PAYMENT RECORD

DATE

CHECK NO.

P.O.#: Vendor #: B0280

SHIP TO: Borough of Manasquan
201 East Main St
Manasquan, NJ 08736

IRS #21-6000820-TAX EXEMPT UNDER
PROVISION OF NJ SALES & USE TAX
ACT (CHAPTER 30, LAW OF 1966).

DATE 6/26/20

DATE REQUIRED

VENDOR:

BORO ENGINEERING, LLC
23 WEST LARCHMONT DR
COLTS NECK, NJ 07722

STATE CONTRACT#

IF FURTHER INFORMATION IS REQUIRED
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	VAR - SHANNON - B185 L28 MSPB-R1250			\$ 593.75
	INVOICE MSPB1250-1	T-03-90-900-182		
	OLB app # 21-2020 screw		Total	\$ 593.75
	AMY SPERA, CFO			

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SIGNATURE [Signature]

SIGNATURE _____ (FINANCE CHAIRMAN)

POSITION President DATE 6/26/20

SIGNATURE _____ (FINANCE COMMITTEE)

SOCIAL SECURITY NO. _____

SIGNATURE _____ (FINANCE COMMITTEE)

EMPLOYER I.D. #47-1033113 CORPORATION: YES NO

Boro Engineering
23 W. Larchmont Drive
Colts Neck, NJ 07722

INVOICE

Manasquan Planning Board
201 East Main Street
Manasquan, NJ 08736

Page : 1
Invoice No: MSPB1250-1
Invoice Date: 6/26/2020

Attention: Mary Salerno

For Professional Services Processed through: 6/26/2020

RE: VAR Shannon - B185 L28

Services rendered are detailed on the attached sheets

LABOR	HOURS	RATE	AMOUNT
Principal	4.75 \$	125.00 \$	<u>593.75</u>
		TOTAL \$	593.75
		AMOUNT DUE THIS INVOICE \$	593.75

Invoice Detail

Invoice Number: MSPB1250-1

Invoice Date: 6/26/2020

VAR Shannon - B185 L28

Staff Charges: Labor

<u>Title</u>	<u>Person</u>	<u>Date of Service</u>	<u>Time Charged</u>	<u>Description</u>
Principal	Yodakis, Albert D.	5/20/2020	1.50	Completeness rev Technical review
Principal	Yodakis, Albert D.	5/26/2020	2.25	Zoning/tech rev Prep report
Principal	Yodakis, Albert D.	5/28/2020	1.00	Field rev Finalize report to Board

Total Principal: 4.75

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BOROUGH OF MANASQUAN
201 EAST MAIN STREET
MANASQUAN, NJ 08736

PAYMENT RECORD

DATE

CHECK NO.

P.O.#: Vendor #: B0280

SHIP TO: Borough of Manasquan
201 East Main St
Manasquan, NJ 08736

IRS #21-6000820-TAX EXEMPT UNDER
PROVISION OF NJ SALES & USE TAX
ACT (CHAPTER 30, LAW OF 1966).

DATE 9/23/20

DATE REQUIRED

STATE CONTRACT#

VENDOR:

BORO ENGINEERING, LLC
23 WEST LARCHMONT DR
COLTS NECK, NJ 07722

IF FURTHER INFORMATION IS REQUIRED
CONTACT PURCHASING OFFICE (732) 223-2292

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QUANTITY/ UNIT	DESCRIPTION	ACCOUNT NO.	UNIT PRICE	AMOUNT
	MN - BROWN - B86 L5.01 MSPB-R1300			\$ 531.25
	INVOICE MSPB1300-1 <i>T-03-90-900-184</i>			
	<i>Pl B2 App # 23-2020-260 Cedar Ave</i>			
			Total	\$ 531.25
	AMY SPERA, CFO	<i>2</i>		

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SIGNATURE *[Signature]*
POSITION President DATE 9/23/20

SIGNATURE _____ (FINANCE CHAIRMAN)

SIGNATURE _____ (FINANCE COMMITTEE)

SOCIAL SECURITY NO. _____

SIGNATURE _____ (FINANCE COMMITTEE)

EMPLOYER I.D. #47-1033113 CORPORATION: YES NO

Boro Engineering
23 W. Larchmont Drive
Colts Neck, NJ 07722

INVOICE

Manasquan Planning Board
201 East Main Street
Manasquan, NJ 08736

Page : 1
Invoice No: MSPB1300-1
Invoice Date: 9/23/2020

Attention: Mary Salerno

For Professional Services Processed through: 9/23/2020

RE: MN Brown - B86 L5.01

Services rendered are detailed on the attached sheets

LABOR	HOURS	RATE	AMOUNT
Principal	4.25 \$	125.00 \$	<u>531.25</u>
		TOTAL \$	531.25
		AMOUNT DUE THIS INVOICE \$	531.25

Invoice Detail

Invoice Number: MSPB1300-1

Invoice Date: 9/23/2020

MN Brown - B86 L5.01

Staff Charges: Labor

<u>Title</u>	<u>Person</u>	<u>Date of Service</u>	<u>Time Charged</u>	<u>Description</u>
Principal	Yodakis, Albert D.	9/18/2020	1.00	Completeness/Zoning rev
Principal	Yodakis, Albert D.	9/22/2020	2.00	Technical review Prep report
Principal	Yodakis, Albert D.	9/23/2020	1.25	field review / Finalize report to Board

Total Principal: 4.25

PURCHASE ORDER NO

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Invoices, B/L, Bundles, Cases,
Packing List, Delivery Receipts
and all Correspondence.

BOROUGH OF MANASQUAN
201 EAST MAIN STREET
MANASQUAN, NJ 08736

PAYMENT RECORD

DATE _____

CHECK NO. _____

P.O.#: _____ Vendor #: B0280

SHIP TO: Borough of Manasquan
201 East Main St
Manasquan, NJ 08736

IRS #21-6000820-TAX EXEMPT UNDER
PROVISION OF NJ SALES & USE TAX
ACT (CHAPTER 30, LAW OF 1966).

DATE 9/23/20

DATE REQUIRED _____

VENDOR: BORO ENGINEERING, LLC
23 WEST LARCHMONT DR
COLTS NECK, NJ 07722

STATE CONTRACT# _____

IF FURTHER INFORMATION IS REQUIRED
CONTACT PURCHASING OFFICE (732) 223-2292

NOTICE: COMPLETE SHIPMENT OF ALL ITEMS IS DESIRED, PARTIAL DELIVERY PAYMENT WILL BE MADE ONLY WHERE DISCOUNT APPLIES.

QUANTITY/ UNIT	DESCRIPTION	ACCOUNT NO.	UNIT PRICE	AMOUNT
	2020 MEETING ATTENDANCE			\$150.00
	MSPB-G2001			
	INVOICE MSPBG2009			
	<i>Planning Board General Fund</i>			
			Total	\$150.00
	AMY SPERA, CFO			

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VENDOR'S CERTIFICATION AND DECLARATION

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SIGNATURE *AMY SPERA*

SIGNATURE _____ (FINANCE CHAIRMAN)

POSITION President DATE 9/23/20

SIGNATURE _____ (FINANCE COMMITTEE)

SOCIAL SECURITY NO. _____

SIGNATURE _____ (FINANCE COMMITTEE)

EMPLOYER I.D. # 47-1033113 CORPORATION: YES NO

Boro Engineering
23 W. Larchmont Drive
Colts Neck, NJ 07722

INVOICE

Manasquan Planning Board
201 East Main Street
Manasquan, NJ 08736

Page : 1
Invoice No: MSPBG2009
Invoice Date: 9/23/2020

Attention: Mary Salerno

For Professional Services Processed through: 9/23/2020

RE: 2020 Meeting Attendance

Services rendered are detailed on the attached sheets

LABOR	HOURS	RATE	AMOUNT
Principal	1.20 \$	125.00 \$	<u>150.00</u>
		TOTAL \$	150.00

AMOUNT DUE THIS INVOICE \$ 150.00

Invoice Detail

Invoice Number: MSPBG2009

Invoice Date: 9/23/2020

2020 Meeting Attendance

Staff Charges: Labor

<u>Title</u>	<u>Person</u>	<u>Date of Service</u>	<u>Time Charged</u>	<u>Description</u>
Principal	Yodakis, Albert	9/1/2020	1.20	Prep for & attend 9/1/20 Zoom P.B. Meeting

Total Principal: 1.20

PURCHASE ORDER NO

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BOROUGH OF MANASQUAN
201 EAST MAIN STREET
MANASQUAN, NJ 08736

PAYMENT RECORD

DATE

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P.O.#: Vendor #: B0280

SHIP TO: Borough of Manasquan
201 East Main St
Manasquan, NJ 08736

IRS #21-6000820-TAX EXEMPT UNDER
PROVISION OF NJ SALES & USE TAX
ACT (CHAPTER 30, LAW OF 1966).

DATE 9/23/20

DATE REQUIRED

VENDOR: BORO ENGINEERING, LLC
23 WEST LARCHMONT DR
COLTS NECK, NJ 07722

STATE CONTRACT#

IF FURTHER INFORMATION IS REQUIRED
CONTACT PURCHASING OFFICE (732) 223-2292

NOTICE: COMPLETE SHIPMENT OF ALL ITEMS IS DESIRED, PARTIAL DELIVERY PAYMENT WILL BE MADE ONLY WHERE DISCOUNT APPLIES.

QUANTITY/ UNIT	DESCRIPTION	ACCOUNT NO.	UNIT PRICE	AMOUNT
	VAR - BROWN - B109 L15 MSPB-R1280			\$ 62.50
		T-03-90-900-180		
	INVOICE MSPB1280-2 Ol Bd app # 19-2020			
			Total	\$ 62.50

AMY SPERA, CFO

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SIGNATURE [Signature]
POSITION President DATE 9/23/20

SIGNATURE _____ (FINANCE CHAIRMAN)

SIGNATURE _____ (FINANCE COMMITTEE)

SOCIAL SECURITY NO. _____

SIGNATURE _____ (FINANCE COMMITTEE)

EMPLOYER I.D. #47-1033113 CORPORATION: YES NO

Boro Engineering
23 W. Larchmont Drive
Colts Neck, NJ 07722

INVOICE

Manasquan Planning Board
201 East Main Street
Manasquan, NJ 08736

Page : 1
Invoice No: MSPB1280-2
Invoice Date: 9/23/2020

Attention: Mary Salerno

For Professional Services Processed through: 9/23/2020

RE: VAR Brown - B109 L15

Services rendered are detailed on the attached sheets

LABOR	HOURS	RATE	AMOUNT
Principal	0.50 \$	125.00 \$	<u>62.50</u>
		TOTAL \$	62.50
		AMOUNT DUE THIS INVOICE \$	62.50

Invoice Detail

Invoice Number: MSPB1280-2

Invoice Date: 9/23/2020

VAR Brown - B109 L15

Staff Charges: Labor

<u>Title</u>	<u>Person</u>	<u>Date of Service</u>	<u>Time Charged</u>	<u>Description</u>
Principal	Yodakis, Albert D.	9/1/2020	0.50	Prep for & attend 9/1/20 PB zoom meeting
Total Principal:			<u>0.50</u>	

PURCHASE ORDER NO

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BOROUGH OF MANASQUAN
201 EAST MAIN STREET
MANASQUAN, NJ 08736

PAYMENT RECORD

DATE

CHECK NO.

P.O.#: Vendor #: B0280

SHIP TO: Borough of Manasquan
201 East Main St
Manasquan, NJ 08736

IRS #21-6000820-TAX EXEMPT UNDER
PROVISION OF NJ SALES & USE TAX
ACT (CHAPTER 30, LAW OF 1966).

DATE 9/23/20

DATE REQUIRED

VENDOR: BORO ENGINEERING, LLC
23 WEST LARCHMONT DR
COLTS NECK, NJ 07722

STATE CONTRACT#

IF FURTHER INFORMATION IS REQUIRED
CONTACT PURCHASING OFFICE (732) 223-2292

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QUANTITY/ UNIT	DESCRIPTION	ACCOUNT NO.	UNIT PRICE	AMOUNT
	VAR - BROWN - B109 L15 MSPB-R1280			\$ 62.50
		T-03-90-900-180		
	INVOICE MSPB1280-2 Ol Bd app # 19-2020			
			Total	\$ 62.50

AMY SPERA, CFO

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SIGNATURE [Signature]
POSITION President DATE 9/23/20

SIGNATURE _____ (FINANCE CHAIRMAN)

SIGNATURE _____ (FINANCE COMMITTEE)

SOCIAL SECURITY NO. _____

SIGNATURE _____ (FINANCE COMMITTEE)

EMPLOYER I.D. #47-1033113 CORPORATION: YES NO

Boro Engineering
23 W. Larchmont Drive
Colts Neck, NJ 07722

INVOICE

Manasquan Planning Board
201 East Main Street
Manasquan, NJ 08736

Page : 1
Invoice No: MSPB1280-2
Invoice Date: 9/23/2020

Attention: Mary Salerno

For Professional Services Processed through: 9/23/2020

RE: VAR Brown - B109 L15

Services rendered are detailed on the attached sheets

LABOR	HOURS	RATE	AMOUNT
Principal	0.50 \$	125.00 \$	<u>62.50</u>
		TOTAL \$	62.50
		AMOUNT DUE THIS INVOICE \$	62.50

Invoice Detail

Invoice Number: MSPB1280-2

Invoice Date: 9/23/2020

VAR Brown - B109 L15

Staff Charges: Labor

<u>Title</u>	<u>Person</u>	<u>Date of Service</u>	<u>Time Charged</u>	<u>Description</u>
Principal	Yodakis, Albert D.	9/1/2020	0.50	Prep for & attend 9/1/20 PB zoom meeting
Total Principal:			<hr/>	0.50

PURCHASE ORDER NO

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BOROUGH OF MANASQUAN
201 EAST MAIN STREET
MANASQUAN, NJ 08736

PAYMENT RECORD

DATE

CHECK NO.

P.O.#: Vendor #: B0280

SHIP TO: Borough of Manasquan
201 East Main St
Manasquan, NJ 08736

IRS #21-6000820-TAX EXEMPT UNDER
PROVISION OF NJ SALES & USE TAX
ACT (CHAPTER 30, LAW OF 1966).

DATE 9/23/20

DATE REQUIRED

STATE CONTRACT#

VENDOR: BORO ENGINEERING, LLC
23 WEST LARCHMONT DR
COLTS NECK, NJ 07722

IF FURTHER INFORMATION IS REQUIRED
CONTACT PURCHASING OFFICE (732) 223-2292

NOTICE: COMPLETE SHIPMENT OF ALL ITEMS IS DESIRED, PARTIAL DELIVERY PAYMENT WILL BE MADE ONLY WHERE DISCOUNT APPLIES.

QUANTITY/UNIT	DESCRIPTION	ACCOUNT NO.	UNIT PRICE	AMOUNT
	MN - BROWN - B86 L5.01 MSPB-R1300			\$ 531.25
	INVOICE MSPB1300-1 <i>T-03-90-900-184</i>			
	<i>Pl B2 App #23-2020-260 Cedar Ave</i>			
	AMY SPERA, CFO			
			Total	\$ 531.25

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SIGNATURE *[Signature]*
POSITION President DATE 9/23/20

SIGNATURE _____ (FINANCE CHAIRMAN)

SIGNATURE _____ (FINANCE COMMITTEE)

SOCIAL SECURITY NO. _____

SIGNATURE _____ (FINANCE COMMITTEE)

EMPLOYER I.D. #47-1033113 CORPORATION: YES NO

Boro Engineering
23 W. Larchmont Drive
Colts Neck, NJ 07722

INVOICE

Manasquan Planning Board
201 East Main Street
Manasquan, NJ 08736

Page : 1
Invoice No: MSPB1300-1
Invoice Date: 9/23/2020

Attention: Mary Salerno

For Professional Services Processed through: 9/23/2020

RE: MN Brown - B86 L5.01

Services rendered are detailed on the attached sheets

LABOR	HOURS	RATE	AMOUNT
Principal	4.25 \$	125.00 \$	<u>531.25</u>
		TOTAL \$	531.25
		AMOUNT DUE THIS INVOICE \$	531.25

Invoice Detail

Invoice Number: MSPB1300-1

Invoice Date: 9/23/2020

MN Brown - B86 L5.01

Staff Charges: Labor

<u>Title</u>	<u>Person</u>	<u>Date of Service</u>	<u>Time Charged</u>	<u>Description</u>
Principal	Yodakis, Albert D.	9/18/2020	1.00	Completeness/Zoning rev
Principal	Yodakis, Albert D.	9/22/2020	2.00	Technical review Prep report
Principal	Yodakis, Albert D.	9/23/2020	1.25	field review / Finalize report to Board

Total Principal: 4.25

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BOROUGH OF MANASQUAN
201 EAST MAIN STREET
MANASQUAN, NJ 08736

PAYMENT RECORD

DATE _____

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Manasquan, NJ 08736

IRS #21-6000820-TAX EXEMPT UNDER
PROVISION OF NJ SALES & USE TAX
ACT (CHAPTER 30, LAW OF 1966).

DATE 9/23/20

DATE REQUIRED _____

VENDOR: BORO ENGINEERING, LLC
23 WEST LARCHMONT DR
COLTS NECK, NJ 07722

STATE CONTRACT# _____

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QUANTITY/ UNIT	DESCRIPTION	ACCOUNT NO.	UNIT PRICE	AMOUNT
	2020 MEETING ATTENDANCE MSPB-G2001 INVOICE MSPBG2009 <i>Planning Board General Fund</i>			\$150.00
			Total	\$150.00
	AMY SPERA, CFO	<i>Q</i>		

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SIGNATURE *AMY SPERA*

SIGNATURE _____ (FINANCE CHAIRMAN)

POSITION President DATE 9/23/20

SIGNATURE _____ (FINANCE COMMITTEE)

SOCIAL SECURITY NO. _____

SIGNATURE _____ (FINANCE COMMITTEE)

EMPLOYER I.D. # 47-1033113 CORPORATION: YES NO

Boro Engineering
23 W. Larchmont Drive
Colts Neck, NJ 07722

INVOICE

Manasquan Planning Board
201 East Main Street
Manasquan, NJ 08736

Page : 1
Invoice No: MSPBG2009
Invoice Date: 9/23/2020

Attention: Mary Salerno

For Professional Services Processed through: 9/23/2020

RE: 2020 Meeting Attendance

Services rendered are detailed on the attached sheets

LABOR	HOURS	RATE	AMOUNT
Principal	1.20 \$	125.00 \$	<u>150.00</u>
		TOTAL \$	150.00
		AMOUNT DUE THIS INVOICE \$	150.00

Invoice Detail

Invoice Number: MSPBG2009

Invoice Date: 9/23/2020

2020 Meeting Attendance

Staff Charges: Labor

<u>Title</u>	<u>Person</u>	<u>Date of Service</u>	<u>Time Charged</u>	<u>Description</u>
Principal	Yodakis, Albert	9/1/2020	1.20	Prep for & attend 9/1/20 Zoom P.B. Meeting

Total Principal: 1.20

RESOLUTION NO. 22 - 2020

**RESOLUTION OF THE PLANNING BOARD OF THE
BOROUGH OF MANASQUAN, COUNTY OF
MONMOUTH, STATE OF NEW JERSEY.**

WHEREAS, Michael Brown (hereinafter referred to as the "applicant") has applied to the Planning Board of the Borough of Manasquan for variance relief pursuant to N.J.S.A. 40:55D-70(c) from the provisions of the Manasquan Zoning Ordinances to construct a swimming pool and associated improvements at property located at 123 McLean Avenue, Manasquan, New Jersey, and known as Block 109 , Lot 15 on the Manasquan Tax Map, and,

WHEREAS, a public hearing was held in virtual electronic format at the regularly scheduled meeting of the Planning Board on September 1, 2020, and testimony having been presented on behalf of the applicant and objectors to the application having been given an opportunity to be heard; and,

WHEREAS, such proof of service as may be required by New Jersey Statutes and Municipal Ordinances has been furnished; and,

WHEREAS, the Board, having considered the application, testimony, and exhibits submitted, makes the following findings:

1. The property is located in an R-1 Zone at the southerly side of McLean Avenue and is situated approximately mid-block between North Jackson Avenue and North McClellan Avenue. The property has 51.3 feet of frontage on McLean Avenue, 150 feet of depth and a total area of 7,695 square feet. The property contains a two-story frame dwelling, a framed garage in the southwest corner and a small shed in the southeast corner. The property has a shared driveway access to McLean Avenue with the neighboring property to the west.

2. The applicant is proposing to construct a swimming pool in the back yard of the property to be located behind the dwelling and to the east of the garage. The applicant is proposing to construct the pool 10 feet from the easterly lot line, 27.8 feet from the westerly lot line and 19.44 feet from the rear lot line. The plans call for a three-foot concrete perimeter around the pool. The design and the positioning of the swimming pool is more clearly depicted on the Plot Plan/Grading Plan prepared by Laurence G. Murphy, P.E., dated April 2, 2020, and noted as last revised as of June 21, 2020. The plans provided more fully describe the applicant's proposal and were submitted to and relied upon by the Board in its deliberations regarding this application.

3. The applicant was represented by Patrick Accisano, Esq. and the testimony was presented by the applicant and his engineer, Laurence G. Murphy, P.E.

4. Upon review of the application by the Board Engineer, and upon hearing his comments and receiving his report, the Board determined that the applicant's proposal required variance relief for maximum lot coverage where 35% is permitted, 32.5% exists and 43.2% is proposed. After gaining the stipulation of the applicant to remove the shed in the southeast corner of the property, the proposed lot coverage was

calculated to be 42.5% and the request for relief was amended accordingly.

5. The Board finds that the variance relief may be approved and granted as proposed and conditioned herein. The Board finds that the applicant is proposing a plan that will improve the drainage of the property through the use of retaining walls and the construction of a drywell on the property. The Board finds that this is a benefit that it may achieve by granting the variance relief requested herein. In this regard the Board notes that the applicant stipulated to make changes to the drainage design and to increase the size of the drywell as may be necessary to eliminate the flow of water onto the neighboring property to the west and thus relieve an existing detrimental condition. The Board finds this to be a benefit to the neighboring properties and the community. The Board finds that the applicant is proposing a plan that will also improve the aesthetics of the community by improving landscaping of the property. The Board finds that this is also a benefit to the neighboring properties and the community. The Board finds that many neighboring properties have pools and that the proposal comports with the design and nature of the properties in the immediate community. The Board finds therefore that the granting of the variance relief comports with what is "on the ground" in the community and therefore will not create or represent a substantial impairment of the zone plan. The Board finds that the additional coverage requested by the applicant is in the form of a pool. The pool is of a nature that it is not likely to cause runoff and therefore will not cause harm to the neighboring properties. As such the Board finds that there will be no substantial detriment to the public good. On balance, the Board finds that the benefits to the neighboring properties and community in general outweigh any detriment that may accrue as a result of the granting of this variance relief. The Board finds that these benefits support the purposes of zoning as found in the Municipal Land Use Law at N.J.S.A. 40:55D-2 and as such support a finding that the applicant has provided sufficient proofs necessary to satisfy the requirements of the positive criteria. In finding that the applicant has met his burden of proof to support favorable findings as to both the positive and negative criteria as discussed above, and in finding that on balance, the positive aspects of granting the relief herein outweigh the negatives, the Board finds that it may grant the variance relief requested pursuant to and under N.J.S.A. 40:55D-70 (c.2) as a better zoning alternative.

6. For the reasons stated above, the Board finds that the application as proposed is in keeping with sound planning and zoning and does not present substantial detriment to the public good nor does it substantially impair the intent and purpose of the zoning plan. The Board further finds that the variance relief may be granted because the benefits to be gained by the community and the zone plan substantially outweigh any detriments.

WHEREAS, The Board has determined that the relief requested by the applicant can be granted without substantial detriment to the public good and without substantially impairing the intent and purpose of the Master Plan and Zoning Ordinances of the Borough of Manasquan and that the benefits of this application do substantially

outweigh the detriments,

NOW THEREFORE, BE IT RESOLVED, by the Planning Board of the Borough of Manasquan on this 6th day of October, 2020, that the application for variance relief shall be and is hereby granted as stated herein subject to the following conditions:

1. All construction shall be made in compliance with the plans presented, all conditions made hereto whether found herein or made upon the record, and all stipulations made by the applicant as memorialized herein, and if not so memorialized, as made upon the record.

2. That all existing taxes, water and sewer assessments and other municipal fees shall be paid current prior to the issuance of a certificate of occupancy.

3. That all construction be completed in accordance with Borough Ordinances, the Building Codes, and all other state, federal and local regulations.

4. That all professional fees including all legal fees and engineering fees, and all inspection fees, or performance bonds set by the Board Engineer, shall be paid by the applicant prior to the issuance of a building permit.

5. That the applicant shall conform his plans to the recommendations of Board Engineer as found in his report of July 9, 2020.

6. That the applicant shall remove the shed located in the southeast corner of the property and that the plans shall be amended accordingly.

7. That the applicant shall implement such drainage measures as discussed herein to accommodate the driveway runoff onto the neighboring properties, which shall include, but not be limited to, increasing the capacity of the drywell and the inclusion of slot drains as necessary. The changes to the drainage scheme shall be incorporated into the plans and shall be subject to the review and approval by the Board Engineer.

BE IT FURTHER RESOLVED that a copy of this resolution be immediately provided by the Planning Board Secretary to the Zoning Officer, to the Construction Official, to the Planning Board's Professional Engineer, to the Tax Office, to the Water and Sewer Departments and to the Department of Public Works, in order that said officials and departments may appropriately note their records with respect to the development approval herein granted.

Neil Hamilton,
Chairman of the Planning Board
of the Borough of Manasquan

CERTIFICATION

I, Mary Salerno, Secretary of the Planning Board of the Borough of Manasquan, in the County of Monmouth, State of New Jersey, do hereby CERTIFY that the foregoing is a true copy of a resolution adopted by the Planning Board at its regular meeting held on October 6, 2020.

Mary Salerno

Resolution Prepared by:
George D. McGill, Esq.
Attorney to the Planning Board
Of the Borough of Manasquan

FRD Surveying, LLC
136 Golf View Boulevard
Toms River, NJ 08753

June 8, 2020

Job No. INS-283

**DESCRIPTION OF PROPERTY TO BE CONVEYED
FROM TAX LOT 19, BLOCK 27 TO TAX LOT 20, BLOCK 27
SITUATED IN BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NJ**

Being a portion of land as shown on a certain plan entitled "Minor Subdivision, Lots 19 and 20, Block 27, Borough of Manasquan, Monmouth County, New Jersey" dated 01/12/2020, prepared by FRD Surveying, LLC.

BEGINNING at a point in the westerly line of Main Street where same is intersected by the northerly line of Tax Lot 19, Block 27 and being located the following course and distance from the southerly line of Central Avenue;

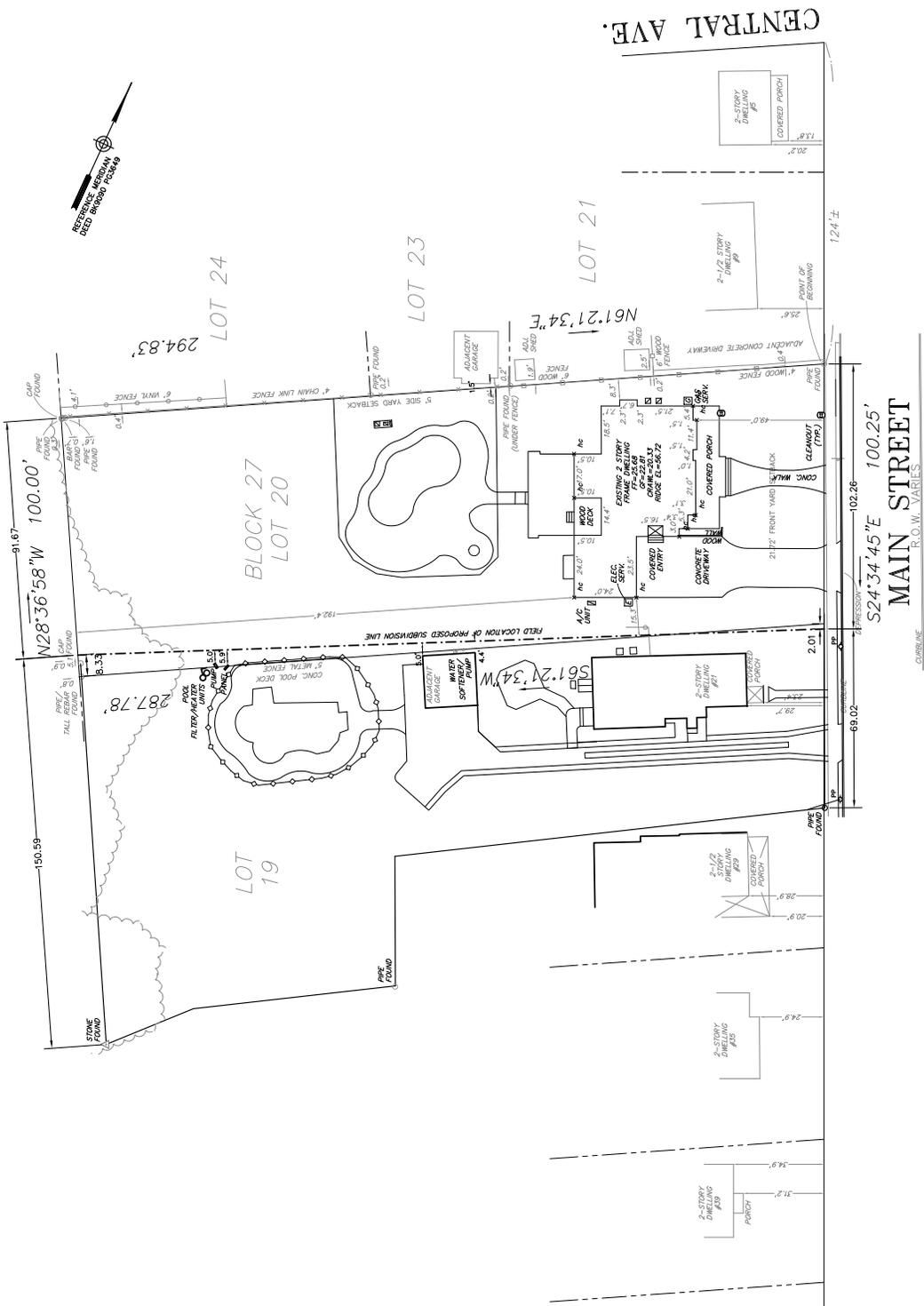
- a. South 24 degrees 34 minutes 45 seconds East, 219.94 feet to the point of and place of beginning; thence running
 1. Along said line of Main Street, South 24 degrees 34 minutes 45 seconds East, a distance of 6.32 feet to a point in the proposed subdivision line between Lots 19 and 20, Block 27; thence
 2. Along the proposed subdivision line, South 63 degrees 25 minutes 00 seconds West, a distance of 186.66 feet to a point in the northerly line of Tax Lot 19, Block 27; thence
 3. Along said line of Tax Lot 19, Block 27, North 61 degrees 28 minutes 51 seconds East, a distance of 186.98 feet to the point and place of **BEGINNING**.

Prepared By:

FRD Surveying, LLC



Frank R. DeSantis
Professional Land Surveyor
New Jersey License No. GS42001



ELEVATIONS SHOWN ARE REFERENCED TO NAVD 88 DATUM

DEED DESCRIPTION: THIS PLAN AND RECONSTRUCTION AS SHOWN ON THE CURRENT TAX MAPS OF THE BOROUGH OF MANASSAQUAN, MONMOUTH COUNTY, NEW JERSEY, BEING MORE PARTICULARLY DESCRIBED AS LOT 20, BLOCK 27 AS RECORDED IN THE MONMOUTH COUNTY CLERK'S OFFICE.

ALSO KNOWN AS 19 MAIN STREET, MANASSAQUAN, N.J.

KELLY DEVELOPMENT, LLC

I, FRANK R. DESANTIS, P.L.S., PROFESSIONAL LAND SURVEYOR, MONMOUTH COUNTY, NEW JERSEY, LICENSE NO. 42001, HAVE PREPARED THIS PLAN AND RECONSTRUCTION IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS OF THE STATE OF NEW JERSEY. THE INFORMATION SHOWN HEREON CORRECTLY REPRESENTS THE SURFACE OF THE GROUND AND NOT BELOW THE SURFACE OF THE GROUND AND NOT VISIBLE.

FINAL SURVEY

LOT 20 BLOCK 27

SITUATED IN THE BOROUGH OF MANASSAQUAN, MONMOUTH COUNTY, NEW JERSEY

FRD SURVEYING LLC
136 GOLFVIEW BOULEVARD
TOMS RIVER, NEW JERSEY 08753

FRANK R. DESANTIS, P.L.S.
PROFESSIONAL LAND SURVEYOR
N.J. Lic. No. 42001

DATE: 02/24/18 SCALE: 1"=30'

INS-283 FINAL AB-TEMP



SONNENBLICK, PARKER & SELVERS
A PROFESSIONAL CORPORATION

Freehold Executive Center
4400 Route 9 South
Freehold, N.J. 07728
(732) 431-1234
www.spspc.com

TELEFAX:
(732) 431-3994

GERALD N. SONNENBLICK
CHARLES R. PARKER
JEROME M. SELVERS*
PETER G. LICATA*
JOHN A. RENTSCHLER

WILLIAM J. MEHR, of Counsel

*N.J. & N.Y. BAR

June 11, 2020

Via Email

Ms. Mary Salerno
Planning Board Secretary
Borough of Manasquan
201 East Main Street
Manasquan, NJ 08736

Re: Application for Minor Subdivision to Adjust Property Line between
Lots 19 & 20 in Block 27

Dear Ms. Salerno:

This firm represents, Judith Bellaran, in the above referenced. Our client is the owner of Lot 19. She has an agreement with the owners of the adjacent Lot 20, Philip and Carolyn Passes, to submit this Minor Subdivision Application to correct the parties' property line.

Enclosed please find the following:

1. Application to Planning Board;
2. Zoning Officer Denial Letter dated May 3, 2020;
3. FRD Surveying LLC Property Line Survey detailing deviation in property line.
4. FRD Surveying, LLC Subdivision Survey;
5. Descriptions of Minor Subdivision portions and subsequent new lots;
6. Parties' Settlement Agreement; and
7. W-9.

By way of background, on October 7, 1994, our client purchased the subject property. A survey of the property was obtained from Charles O'Malley, P.L.S. and the legal description

June 11, 2020

Page 2

contained in the Deed was based on this survey. It was discovered during the recent sale of the adjacent property (Block 27, Lot 20) that the property line established by the O'Malley survey and Deed description for Lot 19 was incorrect. The Deed for Lot 19 lengthened the rear property line by approximately 5.93 feet which altered location of the common property line between Lots 19 and 20. A boundary line dispute ensued between the property owners when the Lot 20 owner sought to erect a new fence based on the correct boundary description for their lot.

The parties have resolved their dispute entering into a Settlement Agreement adjusting their common property. The parties' Settlement Agreement tasked each party with a different part of the process. Ms. Bellaran, as per the Settlement Agreement, is to seek, on behalf of the parties, Minor Subdivision approval from the Borough to establish this adjusted property line in their respective chains of title.

Our client will submit directly to the Borough a \$500.00 Application fee; \$175.00 Escrow Fee; \$100.00 Tax Map Update Fee; and \$10.00 fee for the 200' Property Owner's List.

Please provide us with a 200' list for Lots 19 and 20.

Also, please provide us with the virtual hearing information for the Notice.

Please do not hesitate to contact us if you require any additional information.

Thank you.

Very truly yours,

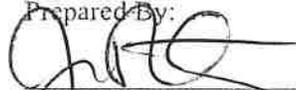
John A. Rentschler

John A. Rentschler
For the Firm

Encl.

cc: Jennifer Smith, Esq.
Judith Bellaran

Prepared By:



John A. Rentschler, Esq.

SETTLEMENT AGREEMENT

THIS AGREEMENT is made this 26th day of February, 2020 ("Effective Date") by and between Judith A. Bellaran ("Bellaran"), residing at 27 Main Street, Manasquan, New Jersey 08736 and Philip and Carolyn Passes ("Passes"), residing at 19 Main Street, Manasquan, New Jersey 08736 (collectively "Parties").

RECITALS

WHEREAS, this Agreement involves the adjacent parcels which are designated as Lots 19 and 20 in Block 27 on the Tax Map of the Borough of Manasquan; and

WHEREAS, Bellaran took title to a certain parcel more particularly described in Deed dated October 7, 1994 from Francis A. Bellaran and Carol A. Bellaran to Francis J. Bellaran and Judith A. Bellaran recorded on October 17, 1994 in the Monmouth County Clerk's Office, which is designated as Lot 19, Block 27 on the Tax Map of the Borough of Manasquan and commonly known as 27 Main Street, Manasquan ("Tract I"); and

WHEREAS, Passes took title to a certain parcel more particularly described in Deed dated November 20, 2014 from Ruth E. Feeley to Philip Passes and Carolyn Passes recorded on November 25, 2014 in the Monmouth County Clerk's Office, which is designated as Lot 20, Block 27 on the Tax Map of the Borough of Manasquan and commonly known as 19- 19 1/2 Main Street, Manasquan ("Tract H"); and

WHEREAS, once the Conditions Precedent as set forth in this Agreement are satisfied, the Parties desire to resolve any and all uncertainty or ambiguity which may, might or could exist regarding the property line between the aforesaid Tracts.

NOW THEREFORE, in consideration of mutual promises and covenants set forth herein, the Parties agree, as follows:

1. The recitals shall be incorporated herein in their entirety.
2. In accordance with the survey attached hereto as Schedule "A" prepared by FRD Surveying LLC dated February 24, 2018 ("**Survey**"), upon the fulfillment of the conditions precedent set forth in paragraph 4 below ("**Conditions Precedent**"), the boundary line between the aforesaid Tracts I and II shall be as labeled on the Survey as the "Field Location of Proposed Subdivision" ("**Boundary Line**").
3. Within thirty (30) days of the fulfillment of the last of the Conditions Precedent, the Parties will each execute, deliver, and record deeds in which (i) Bellaran will convey, grant, release, remise and forever quit claim to Passes all of the claim to, estate, right, title and interest in and to all land on the north westerly side of the Boundary Line (Passes side of the Boundary Line); and (ii) Passes will convey, grant, release, remise and forever quit claims to Bellaran all of the claim to, estate right title and interest in and to all land on the south easterly side of the Boundary Line (Bellaran side of the Boundary Line) (with each deed known as a "**Conforming Deed**"). Each Party shall be responsible for any recording costs associated with the Conforming Deed for that Party's property.
4. The following constitute the Conditions Precedent, which must all be fulfilled before the execution, delivery, and recordation of each Conforming Deed:

- a. **Subdivision Approval:** Using the Survey, for which Passes has borne the cost of preparation, Bellaran shall apply to the Manasquan Planning Board for and obtain subdivision approval and any other required relief to set the Boundary Line in accordance with the Survey and to establish a fence where shown on the Survey ("**Subdivision Approval**"). A copy of this Agreement may be provided with the application. Passes agrees to cooperate with the application process and to attend any public hearings at which the application is considered by the Manasquan Planning Board. Provided no appeal is filed challenging the Subdivision Approval, the Subdivision Approval shall be considered final on the forty-fifth (45th) day following the publication of a notice of decision. Other than the costs of preparing the Survey, Bellaran shall be responsible for all costs associated with securing the Subdivision Approval, including but not limited to, attorney's fees, application fees, escrow fees, and publication fees. The Parties shall not perfect the Subdivision Approval with the recording of a plat or the Conforming Deeds until all Conditions Precedent have been fulfilled.
- b. **Removal of Impediments to the Property Line:** Bellaran shall be responsible for, and bear all costs associated with, (i) grinding of the stump currently located on the proposed Boundary Line; and (ii) removing the portion of the outdoor shower wall that is currently located on the property Boundary Line.
- c. **Lender Approval:** With respect to the tract that each Party owns, the Party shall obtain the written consent for the adjustment of the Boundary Line from

any bank, financial institution, or other entity that currently holds a mortgage in that tract (“**Lender's Consent**”).

5. Within sixty (60) days after the fulfillment of the Conditions Precedent (“**Fence Construction Date**”), Passes shall commence construction of a fence in the location specified in the Survey and approved as part of the Subdivision Approval (“**Fence**”). Passes shall be responsible for all costs associated with the construction and completion of the Fence, including the costs associated with obtaining the construction permit. Passes shall choose the design and materials for the Fence in their sole discretion. The Parties acknowledge that the Fence Construction Date will be tolled during the months of November, December, January, and February, as it is generally impracticable to engage in Fence construction during those months due to weather conditions and contractor availability.
6. The Parties acknowledge that they and their respective surveyors, contractors, and other professionals (“**Contractors**”) may need limited access to both Tract I and Tract II near the proposed Boundary Line to fulfill the Conditions Precedent and during construction of the Fence. The Parties agree to retain Contractors that are licensed and carry commercially reasonable insurance and that will perform their work with reasonable diligence and care. Bellaran hereby agrees to and shall indemnify and hold harmless Passes from any and all claims, losses, costs, expenses and liability, including attorneys fees, incurred in connection work performed by Contractors that are retained by Bellaran to meet any Conditions Precedent. Passes hereby agrees to and shall indemnify and hold harmless Bellaran from any and all claims, losses, costs, expenses and liability, including attorneys fees, incurred in

connection with work performed by Contractors retained by Passes to meet any Conditions Precedent or to construct the Fence.

7. If the Conditions Precedent are not fulfilled within two (2) years of the Effective Date, this Agreement shall automatically terminate unless extended in writing by the Parties.
8. The Parties agree and acknowledge that this Agreement is binding upon their successors-in-interest, heirs and assigns while it remains in effect. The Parties agree to notify each other at least sixty (60) days before the sale of their respective properties if such sale is to occur while this Agreement is in effect.
9. The Parties agree that this Agreement shall not be recorded in the Office of the Clerk in the County of Monmouth.

[Signatures on Next Page]

IN WITNESS WHEREOF, and intending to be legally bound, the Parties hereto have made and executed this Agreement as of the date set forth above.



JUDITH BELLARAN

PHILIP PASSES

CAROLYN PASSES

STATE OF NEW JERSEY

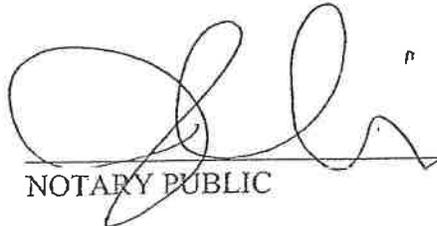
ss.:

COUNTY OF MONMOUTH

I CERTIFY that on Feb 26, 2020, Judy Bellaran, personally came before me and acknowledged under oath, to my satisfaction, that this person (or if more than one, each person):

- (a) is named in and personally signed this document; and
- (b) signed, sealed and delivered this document as their act and deed.

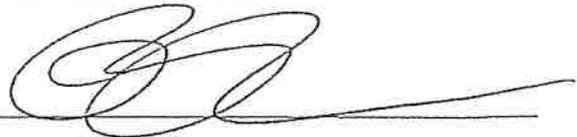
JODI A. QUERCIA
NOTARY PUBLIC OF NEW JERSEY
My Commission Expires April 29, 2021



NOTARY PUBLIC

IN WITNESS WHEREOF, and intending to be legally bound, the Parties hereto have made and executed this Agreement as of the date set forth above.

JUDITH BELLARAN



PHILIP PASSES



CAROLYN PASSES

STATE OF NEW JERSEY

ss.:

COUNTY OF MONMOUTH

I CERTIFY that on _____, 2020, Judy Bellaran, personally came before me and acknowledged under oath, to my satisfaction, that this person (or if more than one, each person):

- (a) is named in and personally signed this document; and
- (b) signed, sealed and delivered this document as their act and deed.

NOTARY PUBLIC

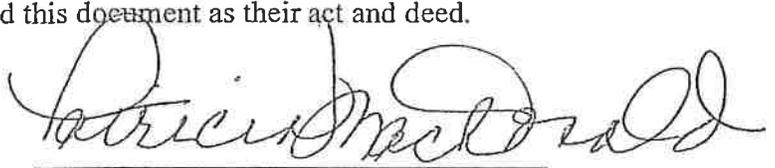
STATE OF NEW JERSEY

ss.:

COUNTY OF

I CERTIFY that on February 15, 2020, Philip Passes and Carolyn Passes, personally came before me and acknowledged under oath, to my satisfaction, that they are the person (or if more than one, each person):

- (c) is named in and personally signed this document; and
- (d) signed, sealed and delivered this document as their act and deed.



NOTARY PUBLIC

PATRICIA ANNE MACDONALD
NOTARY PUBLIC OF NEW JERSEY
My Commission Expires 10/15/2023

APPLICATION TO THE PLANNING BOARD

Applicant's Name Judith Bellaran

Applicant's Address 27 Main Street, Manasquan, NJ 08736

Telephone Number 732-804-7575
(Home and Cell)

Property Location 27 and 19 Main Street
Block: 27 **Lot** 19 & 20

Type of Application Minor Subdivision to Adjust Property Line
Bulk Variance, Non-Permitted Use – Conditional Use – Subdivision – Minor Subdivision – Major – Site Plan Approval

Date of Zoning Officer's Denial Letter May 13, 2020
Zoning Permit Application Attached

Plot Plan (Survey) not older than five (5) years, clearly indicating all buildings and setbacks.

Is the Applicant the Landowner? Yes

Does the Applicant own any adjoining land? No

Are the property Taxes paid to date? Yes

Have there been any previous applications to the Planning Board concerning this property? No
(Attach copies)

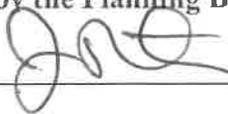
Have there been any previous applications to the Planning Board. If there were please attach copies.

Are there any Deed Restrictions, easements, or covenants affecting this property and if so please attach Settlement Agreement dated February 26, 2020

The applicant agrees to be responsible for and pay the costs entailed in the review of this application by any experts retained by the Planning Board for advice in this matter.

Signature of Applicant or Agent

Date

 Attorney for Applicant
6/11/2020

CHECKLIST FOR APPLICATIONS FOR A VARIANCE

1. **Twenty (20) sets of the application must be submitted. Set includes: 2 page application, letter of denial from the Zoning Officer, copy of the survey showing the existing layout of the property and dotted lines indicating the new addition/changes as well as any new setback footages. A floor plan and elevation views (architectural plans) are requested as they help the Board in their determination. Of the 20 sets two (2) must be full-size plans, the other (18) copies should be reduced to approximately 11 X 18", legible but not too large as to create too much noise at the microphones on the dais.**
2. **Two checks made out to the Borough of Manasquan. The application fee and the Escrow fee. If other money is needed either for the Tax Map update fee or the Fire Marshall you will be informed by mail regarding that request.**
3. **Affidavit of Service – a list of property owners within 200-feet of your property which you can receive from the Tax Office with a fee of \$10.00. A copy of the notice that was served must be attached to your application. This notice MUST state the Statutes that need the variance relief as well as an explanation of what is being proposed. If the notice is hand served, the name and address of the receiver must be listed on the Affidavit of Service. If there are two names on the Tax list both parties must sign. If the notice is not hand served they must be sent by Certified Mail and the Tax List along with the certified receipts must be given to the Board Secretary at least ten (10) days before the hearing.**
4. **Affidavit of Publication must be furnished by the newspaper (either the Coast Star or the Asbury Park Press) The Notice MUST be advertised at least ten (10) days before the scheduled hearing.**
5. **Certification of Taxes Paid – something from the Tax Collector that indicates that the taxes and water/sewer charges on the property are paid through the date of the requested hearing.**
6. **Deadline for applications – all applications and plans must be filed at least five (5) weeks before the requested hearing date. The Secretary will give you a hearing date when the complete application is filed and the fees are paid. The application and plans MUST be filed before any notice is given. The Board hears a maximum of three (3) hearings per meeting. If the agenda is filled when you file your application, you will be placed on the agenda of the first free meeting. The Planning Board usually meets on the First and Third Tuesday of the month. The first meeting is at 7PM and the Second meeting is at 4PM. Applications are put on the agenda in the order they come in completed.**
7. **Any plans submitted with the application MUST BE FOLDED, rolled plans will be rejected. If you have any questions you may reach Mary Salerno at 732-223-0544, extension 245.**

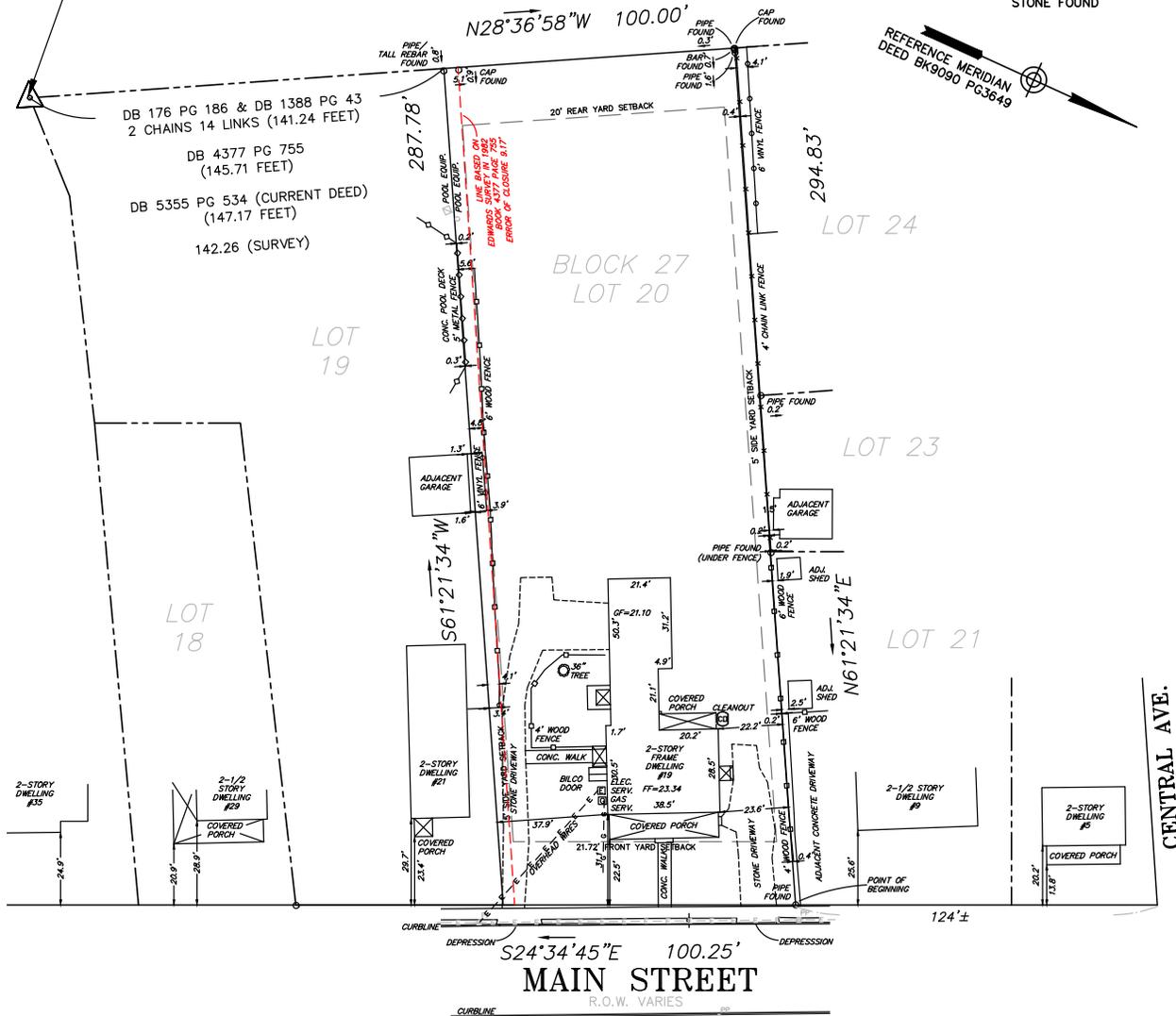
- STONE FOUND (MARCH 7, 2017) AND CALLED FOR IN:
- 1) DEED BOOK 176 PAGE 186 (1863)
ABRAHAM OSBORN AND WIFE AND OTHERS TO
ANDREW LONGSTREET.
 - 2) DEED BOOK 1388 PAGE 43 (1926)
WILLIAM C. LONGSTREET TO THEODORE O. LONGSTREET
FIRST TRACT COURSE 1 "TO A STONE"
SECOND TRACT COURSE 1 "TO A STONE, THE SAME BEING
BEING SAID LONGSTREETS SOUTHERLY CORNER"



STONE FOUND



STONE FOUND



FRONTAGE OF LOTS 18 AND 19 (LONGSTREET)

(1927) DEED BOOK 1388 PAGE 43 (LONGSTREET)
4TH COURSE IN TRACT 1 (43.56 FEET) + 3RD COURSE IN TRACT 3 (75 FEET) = 118.56 FEET

(2017 DEEDS) 50 FEET (LOT 18) + 75 FEET (LOT 19) = 125 FEET

(2017 SURVEY BY FRD) 121.07 FEET (MEASURED)

ELEVATIONS SHOWN ARE REFERENCED TO NAVD 88 DATUM.

DEED DESCRIPTION:
PROPERTY IS KNOWN AND DESIGNATED AS LOT 20 IN BLOCK 27 AS SHOWN ON THE CURRENT TAX MAPS OF THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY. BEING MORE PARTICULARLY DESCRIBED IN DEED BOOK 9090 PAGE 3649 AND RECORDED IN THE MONMOUTH COUNTY CLERK'S OFFICE.

ALSO KNOWN AS 19 - 19 1/2 MAIN STREET, MANASQUAN, NJ.

KEILY DEVELOPMENT, LLC

I CERTIFY TO THE ABOVE PARTIES THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP OR PLAN IS A RESULT OF A FIELD SURVEY MADE ON THE DATE SHOWN BELOW, BY ME OR UNDER MY DIRECT SUPERVISION, IN ACCORDANCE WITH THE RULES AND REGULATIONS PROMULGATED BY THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS.

THE INFORMATION SHOWN HEREON CORRECTLY REPRESENTS THE CONDITIONS FOUND AT THE SITE ON THE DATE OF THE FIELD SURVEY, EXCEPT SUCH IMPROVEMENTS OR EASEMENTS, IF ANY, BELOW THE SURFACE OF THE GROUND AND NOT VISIBLE.

SURVEY ANALYSIS

LOT 20 BLOCK 27

SITUATED IN
BOROUGH OF MANASQUAN
MONMOUTH COUNTY, NEW JERSEY

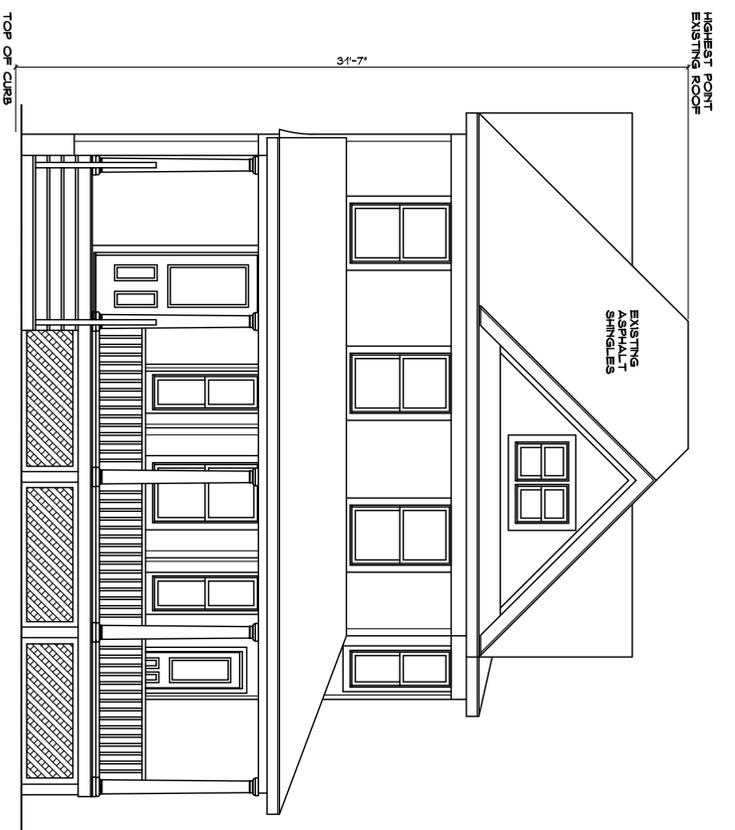
FRD SURVEYING LLC

136 GOLFVIEW BOULEVARD
TOMS RIVER, NEW JERSEY 08753

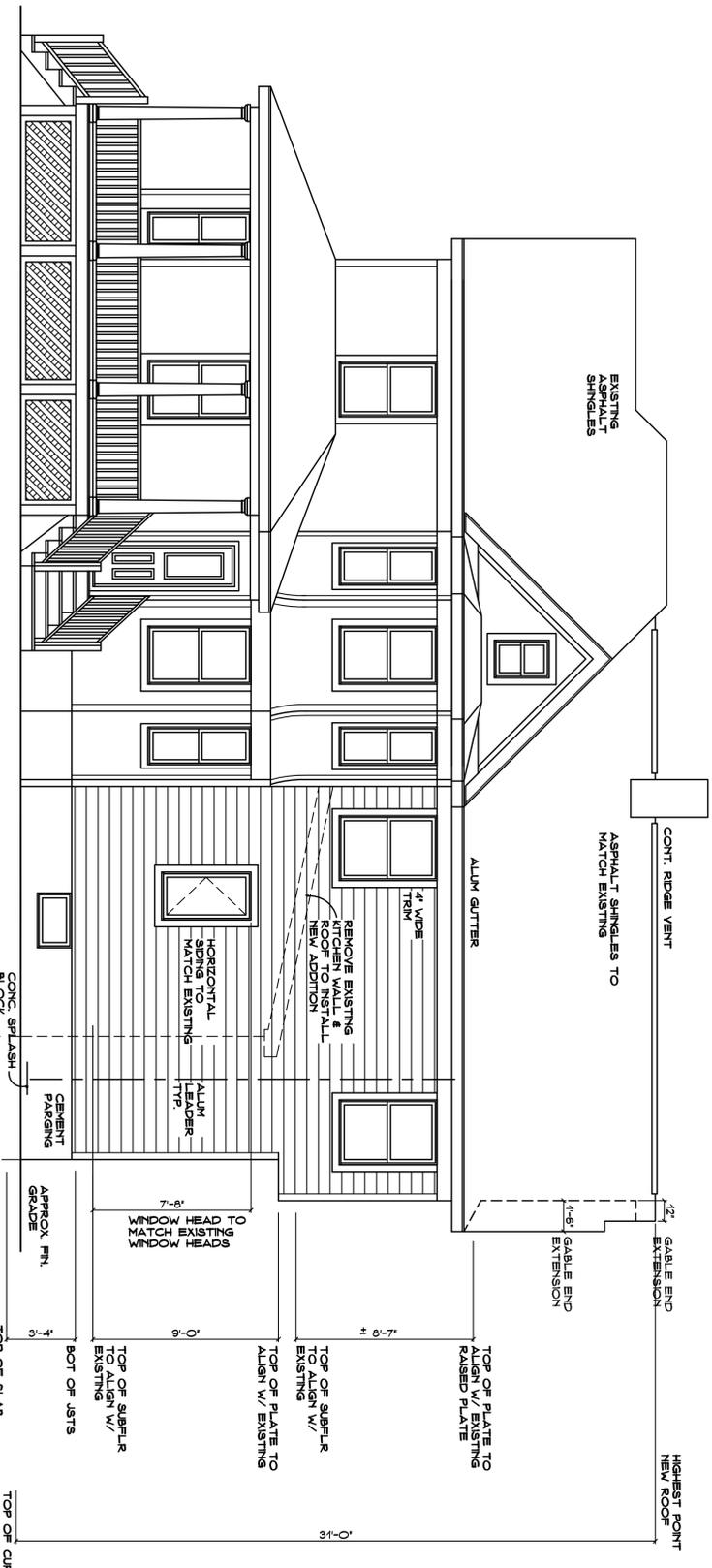
FRANK R DESANTIS, P.L.S.
PROFESSIONAL LAND SURVEYOR
N.J. Lic. No. 42001

DATE 03/04/17 SCALE 1"=40'

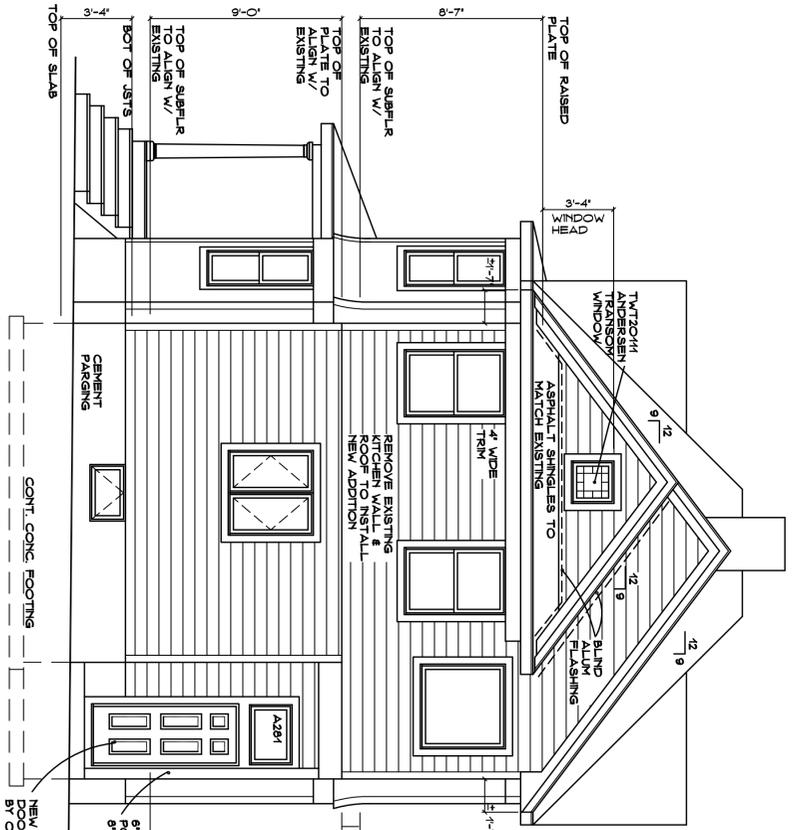
INS-283 ANALYSIS



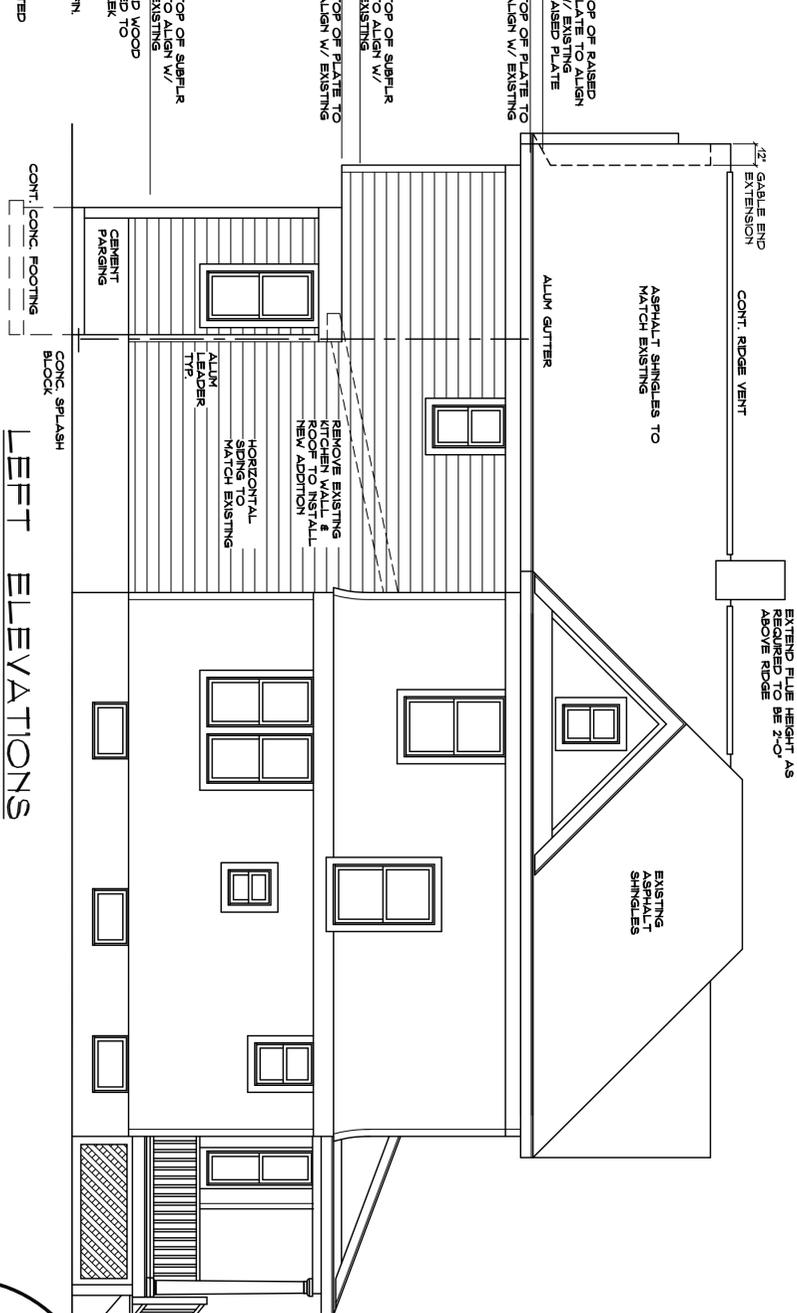
FRONT ELEVATIONS
SCALE 1/4" = 1'-0"



RIGHT ELEVATIONS
SCALE 1/4" = 1'-0"



REAR ELEVATIONS
SCALE 1/4" = 1'-0"



LEFT ELEVATIONS
SCALE 1/4" = 1'-0"

- NOTES :
- PROVIDE BLIND FLASHING WHERE REQUIRED TO INSURE WATERTIGHT CONDITION.
 - ALL SIGHTS, METAL FLUES, VENTS, AND ANY OTHER ROOF ACCESSORIES SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
 - THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/80 OF THE AREA OF THE SPACE VENTILATED, WITH 50 PERCENT OF THE REQUIRED VENT ON THE SPACE PROVIDED. SPACE PROVIDED SHALL BE LOCATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.
 - THE MINIMUM REQUIRED NET FREE VENTILATING AREA SHALL BE 1/300 OF THE AREA OF THE SPACE VENTILATED, PROVIDED A VAPOR RETARDER HAVING A TRANSMISSION RATE NOT EXCEEDING 1 PERY IN ACCORDANCE WITH ASTM E 96 IS INSTALLED OVER THE VAPOR BARRIER. THE VENTILATING AREA PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.
 - INSTALL GAP WEATHERBATCH WATERPROOF UNDERLAYMENT UNDER ROOF SHINGLES OF ROOF CRICKETS AND RETURN 1/2" UP ADJACENT WALLS AND IN ALL VALLEY AREAS AND ON ALL AREAS AS RECOMMENDED BY THE MANUFACTURER.

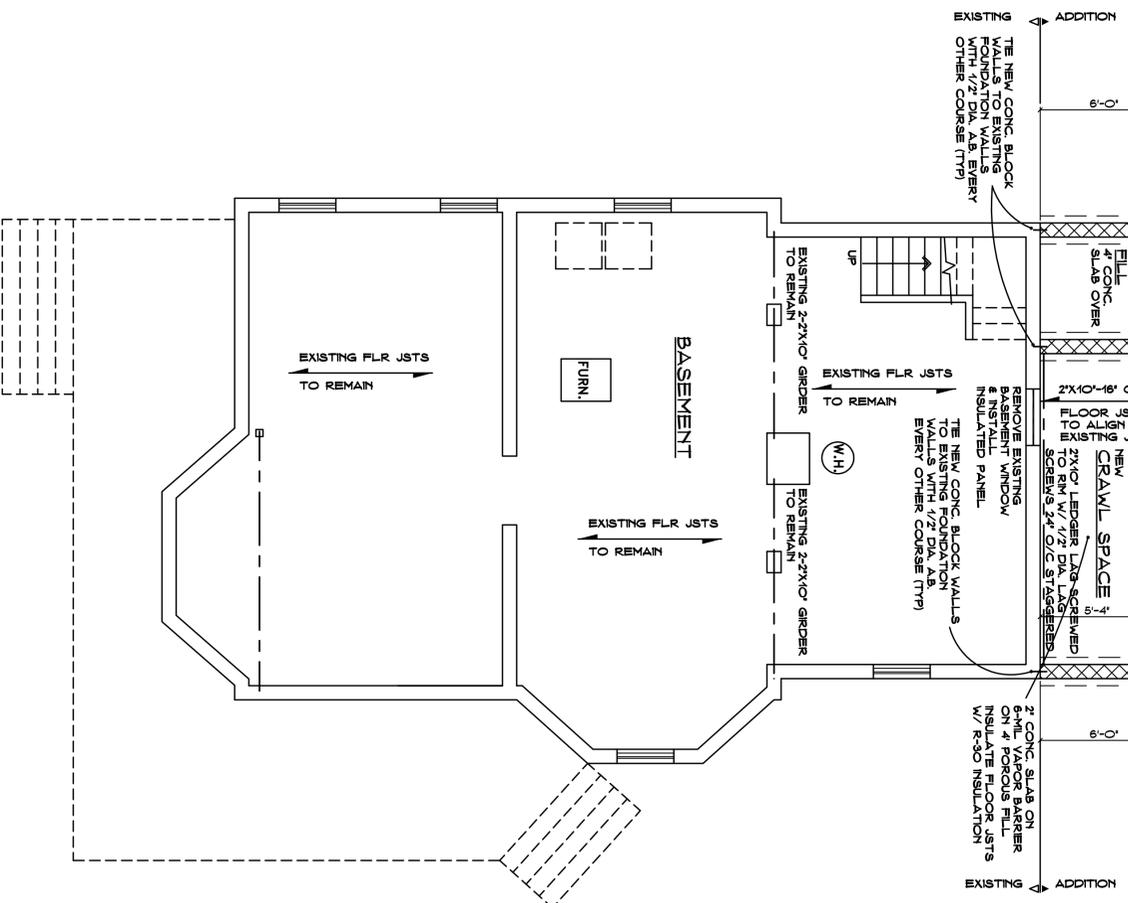
- NOTES:
- ALL GRADES ARE APPROXIMATE - ADJUST TO SUIT ACTUAL SITE CONDITIONS.
 - THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE GRADED TO A MINIMUM SURFACE VERTICAL AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL MINIMUM OF 6" WITHIN THE FIRST 10 FEET, (AS PER CODE)
 - WHEN EXTERIOR PLATFORMS AND STAIRS EXCEED 30" ABOVE THE FINISHED GRADE INSTALL A 36" HIGH GUARD RAIL.
 - WHEN THERE ARE THREE OR MORE EXTERIOR STAIR RISERS, A 30"-36" HIGH HANDRAIL SHALL BE INSTALLED ON AT LEAST ONE SIDE OF THE STAIR.

RV ARCHITECT
RICHARD VILANO LLC AIA
2006 State Hwy 71, Sewell, NJ 07162, Tel: 732-282-9300, Fax: 732-282-9301
WEB: ARCHITECTRICHARDVILANO.COM

36ET TITLE	DATE: 12-2-2019
ELEVATIONS	DRAWN: TM
PROJECT: ADDITION / ALTERATION TO THE MARAZITI RESIDENCE	OK: RV
LOT 54.01, BLOCK 62	SCALE AS NOTED
22 PARKER AVENUE	DRAWING NO.:
MANASQUAN, NEW JERSEY	
<i>Richard Vilano</i>	
RICHARD VILANO, NEW JERSEY LICENSE # N.J. A108312	
MEMBER OF THE AMERICAN INSTITUTE OF ARCHITECTS AND NATIONAL COUNCIL OF ARCHITECTURAL REGISTRATION BOARDS	
REVISIONS	SHEET: 1 OF 4

LEGEND

- EXISTING WALLS TO BE REMOVED
- EXISTING WALLS TO REMAIN
- 8" CONC. BLOCK FOUNDATION WALLS
- 8" CONC. BLOCK FOUNDATION WALLS TO BE REMOVED
- 4" CONTINUOUS REBAR ON 4" X 8" DEEP
- CONC. COIL FOOTINGS
- W/ 3 # 4 REBAR COIL
- W/ 30' BELOW GRADE



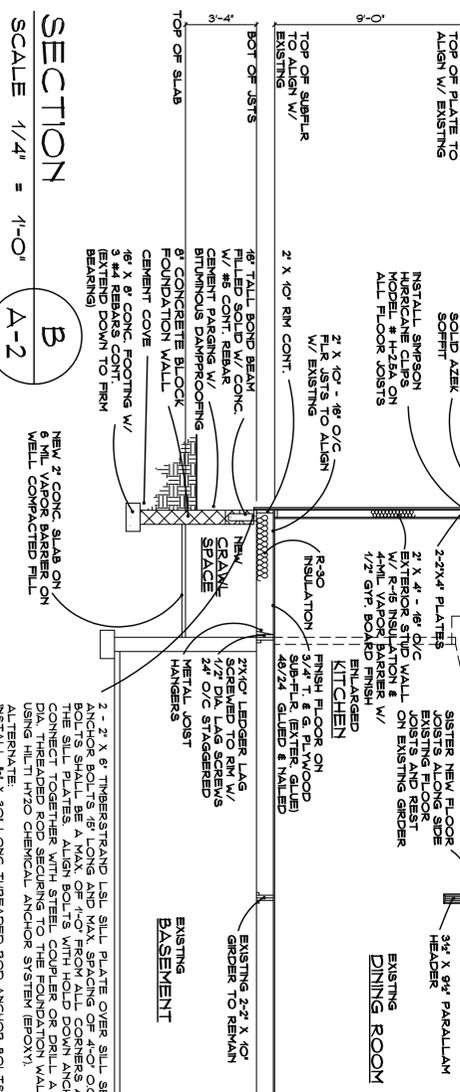
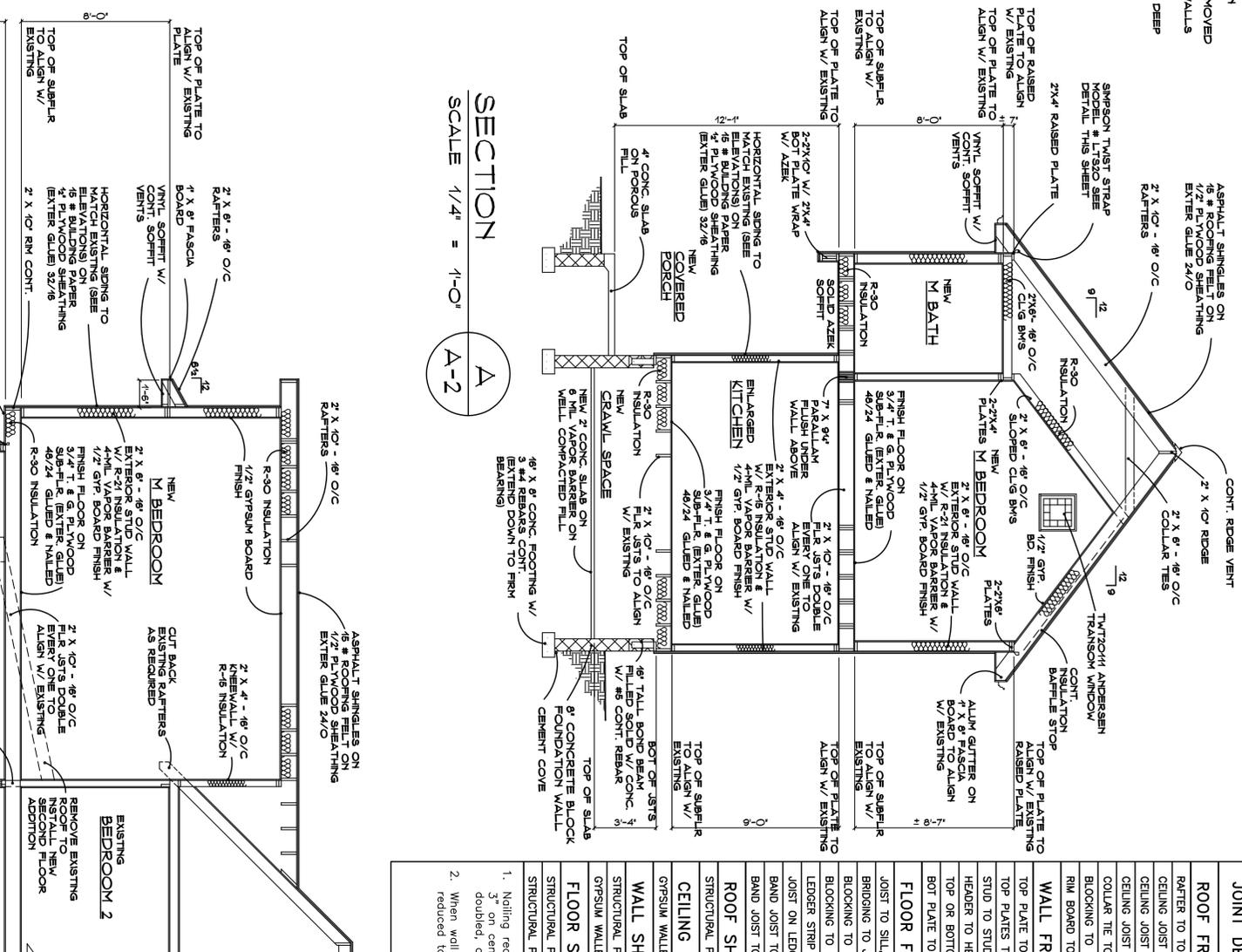
FOUNDATION PLAN

SCALE 1/4" = 1'-0"

SECTION

SCALE 1/4" = 1'-0"

A-A-2



NAILING SCHEDULE FOR STRUCTURAL MEMBERS WFCM TABLE 3.1

JOINT DESCRIPTION AND SPACING	NUMBER OF COMMON NAILS	NUMBER OF BOX NAILS	NAIL SPACING
ROOF FRAMING			
RAFTER TO TOP PLATE (TOE NAILED)	3-8d (2 1/2" x 0.134")	3-10d (3" x 0.128")	PER RAFTER
CEILING JOIST TO TOP PLATE (TOE NAILED)	3-8d (2 1/2" x 0.134")	3-10d (3" x 0.128")	PER JOIST
CEILING JOIST TO PARALLEL RAFTER (FACE NAILED)	4-16d (3 1/2" x 0.162")	5-16d (3 1/2" x 0.135")	EACH LAP
CEILING JOIST LAPS OVER PARTITIONS (FACE NAILED)	4-16d (3 1/2" x 0.162")	5-16d (3 1/2" x 0.135")	EACH LAP
CEILING JOIST TO RAFTER (FACE NAILED)	3-8d (2 1/2" x 0.134")	3-10d (3" x 0.128")	PER JOIST
COLLAR JOIST TO RAFTER (TOE NAILED)	2-8d (2 1/2" x 0.134")	2-10d (3" x 0.128")	EACH END
CEILING JOIST TO RAFTER (TOE NAILED)	2-16d (3 1/2" x 0.162")	3-16d (3 1/2" x 0.135")	EACH END
WALL FRAMING			
TOP PLATE TO TOP PLATE (FACE NAILED)	2-16d (3 1/2" x 0.162") ¹	2-16d (3 1/2" x 0.135) ¹	PER FOOT
TOP PLATE TO INTERSECTIONS (FACE NAILED)	4-16d (3 1/2" x 0.162")	5-16d (3 1/2" x 0.135)	JOINTS-6A SIDE
STUD TO STUD (FACE NAILED)	2-16d (3 1/2" x 0.162")	2-16d (3 1/2" x 0.135)	24" O.C.
HEADER TO HEADER (FACE NAILED)	16d (3 1/2" x 0.162")	16d (3 1/2" x 0.135)	16" O.C. EXPOS PER STUD
TOP OR BOTTOM PLATE TO STUD (END NAILED)	2-16d (3 1/2" x 0.162")	2-40d (5" x 0.162")	PER STUD
BOT. PLATE TO FR. JST. BANDJOIST OR BLOCKING (FACE NAILED)	2-16d (3 1/2" x 0.162") ¹²	2-16d (3 1/2" x 0.135) ¹²	PER FOOT
FLOOR FRAMING			
JOIST TO SILL, TOP PLATE OR GIRDER (TOE NAILED)	4-8d (2 1/2" x 0.134")	4-10d (3" x 0.128")	PER JOIST
BLOCKING TO JOIST (TOE NAILED)	2-8d (2 1/2" x 0.134")	2-10d (3" x 0.128")	EACH END
BLOCKING TO JOIST (TOE NAILED)	2-8d (2 1/2" x 0.134")	2-10d (3" x 0.128")	EACH END
BLOCKING TO SILL OR TOP PLATE (TOE NAILED)	3-16d (3 1/2" x 0.162")	4-16d (3 1/2" x 0.135)	EACH BLOCK
LEADER STRIP TO BEAM (FACE NAILED)	3-16d (3 1/2" x 0.162")	5-16d (3 1/2" x 0.135)	EACH JOIST
JOIST ON LEADER TO BEAM (TOE NAILED)	3-8d (2 1/2" x 0.134")	3-10d (3" x 0.128")	PER JOIST
BAND JOIST TO JOIST (END NAILED)	3-16d (3 1/2" x 0.162")	4-16d (3 1/2" x 0.135)	PER JOIST
BAND JOIST TO SILL OR TOP PLATE (TOE NAILED)	2-16d (3 1/2" x 0.162") ¹	3-16d (3 1/2" x 0.135)	PER FOOT
ROOF SHEATHING			
STRUCTURAL PANELS	8d (2 1/2" x 0.134")	10d (3" x 0.128")	6" EDGE/12" FIELD
CEILING SHEATHING			
Gypsum Wallboard	5d COOLERS	5d COOLERS	7" EDGE/10" FIELD
WALL SHEATHING			
STRUCTURAL PANELS	8d (2 1/2" x 0.134")	10d (3" x 0.128")	6" EDGE/12" FIELD
Gypsum Wallboard	5d COOLERS	5d COOLERS	7" EDGE/10" FIELD
FLOOR SHEATHING			
STRUCTURAL PANELS 1" OR LESS	8d (2 1/2" x 0.134")	10d (3" x 0.128")	6" EDGE/12" FIELD
STRUCTURAL PANELS 1" OR GREATER	10d (3" x 0.148")	16d (3 1/2" x 0.135")	6" EDGE/6" FIELD

1. Noting requirements are based on wall sheathing nailed 6 inches on center at the panel edge. If wall sheathing is nailed 3" on center at the panel edge to obtain higher shear capacities, noting requirements for structural members shall be doubled or alternate connectors, such as shear plates, shall be used to maintain the load path.

2. When wall sheathing is continuous over connected members, the tabulated number of nails shall be permitted to be reduced to 1-16d nail per foot.



RICHARD VILLANO LLC AIA
22 PARKER AVENUE
MANASSAQUAN NEW JERSEY

2006 State Hwy 71, Somerville, NJ 07876 Tel: 732-282-9300 Fax: 732-282-9301
WEB: ARCHITECT@RICHARDVILLANO.COM

REVISIONS	DATE	BY	DESCRIPTION
	12-2-2019	TM	FOUNDATION PLAN / SECTIONS
		RV	ADDITION / ALTERATION TO THE MARAZITI RESIDENCE LOT 54.01, BLOCK 62 22 PARKER AVENUE MANASSAQUAN NEW JERSEY
		TM	SCALE AS NOTED
			DRAWING NO. A-2

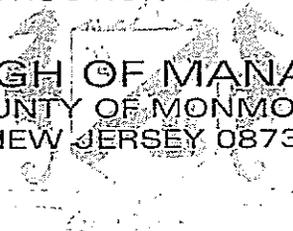
BOROUGH HALL
201 EAST MAIN STREET

EDWARD G. DONOVAN
Mayor

THOMAS F. FLARITY
Municipal Administrator

Incorporated December 30, 1887

CONSTRUCTION DEPARTMENT


BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

732-223-0544
Fax 732-223-1300

FRANK F. DIROMA
Supervisor of Code Enforcement

ALBERT "SANDY" RATZ
Construction Official

January 7, 2020

Rhonda Marazitti
22 Parker Avenue
Manasquan, NJ 08736

Re: Block: 62 Lot: 54.01 Zone: R-2

Dear Ms. Marazitti:

On this date we reviewed your application for the following project.

Remove portions of the existing asphalt driveway and construct a two story rear addition and a second floor addition over the existing building footprint and other interior alterations and renovations.

Survey prepared by Richard Zinn on December 22, 2016. Site plan and building plans prepared by Richard Villano on December 2, 2019.

Application denied for the following reason(s):

Section 35-5.3 – R-2 Zone – Permitted Use – One single family dwelling permitted
Two single family dwellings existing

Section 35-7.7c - Driveway Width – 20ft. Permitted
33ft. Proposed

22 Parker Avenue:

Section 35-9.4 – Front Setback – 25ft. Required
14.25ft. Existing

22 ½ Parker Avenue:

Section 35-9.4 – Rear Setback – 20ft. Required
15ft. Existing

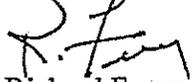
“ - Side Setback (Left) – 5ft. Required
1ft. Existing

Additional required documentation:

- Site plan revised to show location of any mechanical equipment.
- Site plan revised to show the removal of any trees associated with this project.

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,



Richard Furey
Zoning/Code Enforcement Officer

**PLANNING BOARD APPLICATION
MANASQUAN, NEW JERSEY**

I. APPLICANT: Rhonda Maraziti

Address: 22 Parker Avenue
Manasquan, NJ 08736

Phone: 908-812-2355

**Property Address: 22 & 22 ½ Parker Avenue
Block 62, Lot 54.01 Zone R-2
Flood Zone: N/A
Manasquan, New Jersey 08736**

II. TYPE OF APPLICATION: Bulk Variances/Interpretation of an Ordinance/Use Variance

Section 35-5.3—R-2 Zone—Only one single family dwelling permitted; Two single family dwellings exist

Section 35-9.4

SITE & 22 Parker Avenue				
	REQUIRED	EXISTING	PROPOSED	Variance
Area of Lot	5,000 s.f.	8,137.5 s.f.	8,137.5 s.f.	No
Percentage of Lot Coverage (Building)	30%	20.63%	22.21%	No
Percentage of Lot Coverage (Imp)	45%	49.36%*	44.31%	No
Lot Depth	N/A	108.50 ft	108.50 ft	No
Lot Frontage	50 ft.	75 ft	75 ft.	No
Front Setback	25 ft	18.5 ft	18.5 ft *	*Yes. Existing Non-conformity
Rear Setback	20 ft	48.75 ft	42.75 ft	No
Building Height-Stories	35 ft. 2.5 stories	31.3125 ft 2 Stories	31.0 ft 2 stories	No
Side Setback (L)	5ft	>5 ft	N/C	No

Side Setback (R)	5 ft	11.89 ft	11.89 ft proposed to the existing dwelling 15.9 ft. proposed to the addition	No
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Existing Non-Conformity *
Variance Requested **

Section 35-7.7—Driveway Width—20 ft. permitted; 33 ft existing and proposed**

22 ½ Parker Avenue

Section 35-9.4—Rear Setback—20 ft required; 15 ft existing and proposed**

Section 35-9.4—Side Setback(left)—5 ft required; 1 ft existing and proposed**

III. SITE INFORMATION:

Street Address: 22 & 22 ½ Parker Avenue

Block 62 Lot 54.01

Zoning Districts: R-2

Present Use: Two Single Family Residential Dwellings

Proposed Use: Two Single Family Residential Dwellings

VI. ZONE REQUIREMENTS: R-2 Zone

Min. Lot Area: 5,000 sq ft

Min Lot Frontage: 50 ft

Front Yard Setback: 25 ft

Side Setback: 5 ft

Rear Setback: 20 ft

Max. Bldg. Height: 35 ft

Max Stories: 2 ½

Max. Bldg. Coverage: 30%

Max. Lot Coverage: 45%

V. MISCELLANEOUS:

1. Is the Applicant the Landowner? Yes
2. Does the Applicant own any adjoining land? No
3. Are the property taxes paid to date? Yes
4. Have there been any previous applications to the Planning Board or Board of Adjustment concerning this property? None to the Applicant's knowledge.
5. Are there any deed restrictions, easements or covenants affecting the property? No.

VI. COMMENT:

Applicant seeks an interpretation that a Use Variance is not required based upon Ordinance 35-38B.1 which permits an accessory apartment as a self-contained residential dwelling unit in the R-2 Zone subject to conditions which the Applicant complies with. In default of an interpretation that a Use Variance is not required, Applicant seeks approval to remove portions of the existing asphalt driveway and construct a two-story rear addition and a second-floor addition over the existing building footprint and other interior alterations and renovations, on a property with two single family residential dwellings existing where one single family residential dwelling is permitted thus expanding the existing non-conforming use.

The Applicant agrees to be responsible for and pay the costs entailed in the review of this application by any experts retained by the Planning Board for advice in this matter, if necessary.

6/10/20
Date



C. KEITH HENDERSON, ESQ
Attorney for Applicant

MANASQUAN, NEW JERSEY
August 4, 2020

BOROUGH OF MANASQUAN PLANNING BOARD

TO: PROPERTY OWNER

PLEASE TAKE NOTICE that on the 4th day of August, 2020, at 7:00 p.m., a hearing will be held before the Manasquan Borough Planning Board and will be conducted virtually on the appeal or application of the undersigned for approval of a Use Variance and any and all other relief for property located in the R-2 Zone and known as 22 & 22 ½ Parker Ave, Manasquan, New Jersey also known as Block 62, Lot 54.01 on the Borough Tax Map as to construct a new two story addition on the rear of the front dwelling and modify the driveway on the existing lot. The Virtual meeting link is, <https://zoom.us/join>, using the Virtual Meeting ID - 261 009 5007, with the Password - 281797 and the local access phone number is +1 646 876 9923 US (New York), or you may find your local number at <https://zoom.us/j/aeVjna053>.

The Applicant requests relief from the Zoning Ordinances of the Borough of Manasquan including the following: **Section 35-5.3-Permitted Use**- One single family residential dwelling per lot permitted; Two single family residential dwelling units existing to remain.

The Applicant intends to maintain the following existing non-conformities which will not be modified by this application: **Section 35-9.4—Front Yard Setback**—25 ft required, 14.25 existing and proposed; **Side Yard Setback**—5 ft required; 1.0 ft existing and proposed to the rear dwelling; **Rear Yard Setback**—20 ft required; 15 ft exists to the rear dwelling; **Maximum Driveway Width**—20 ft permitted; 33 ft exists.

Applicant seeks any and all other variances or waivers which the Board may deem necessary in connection with the processing and approval of the application. The application, maps, plans and related supporting materials will be available for public inspection virtually on the Planning Board website: <https://www.manasquan-nj.gov/planning-board> at least ten (10) days before the public hearing. Alternatively, individuals lacking the resources or know-how for technological access may contact Mary Salerno, the Board Secretary, at the following e-mail address: msalerno@manasquan-nj.gov, or George D. McGill, Esq., the attorney for the Planning Board, at the following e-mail address: gdm@mcgillhall.com or by telephone at 732-618-2447, to arrange receipt of documents by alternate means or to review copies in person at the Manasquan Municipal Building, located at 201 East Main Street, Manasquan, New Jersey, by appointment only, during regular business hours between 9:00 am and 5:00 pm, Monday through Friday (excluding holidays) or for general assistance in accessing the plans on file and the meeting. However, the public is encouraged to view the materials through the website as the Municipal Building is closed to the public.

Any interested party may appear at said hearing and participate therein in accordance with the rules of the Planning Board.

RHONDA MARAZITI
Applicant

/C. Keith Henderson/
C. KEITH HENDERSON
Attorney for the Applicant

July 1, 2020

Mary Salerno, Secretary
Manasquan Borough Planning Board
201 East Main Street
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1260
Variance – Maraziti
Block 62, Lot 54.01
22 Parker Avenue
R-2 Single-Family Residential Zone
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Salerno:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Plan of Topographic Survey prepared by Richard Zinn, PLS, of Brunswick West, Inc., dated December 22, 2016.
2. Architectural Floor Plans, Elevations, and Site Diagram prepared by Richard Villano, AIA, dated December 2, 2019.

The property is located in the R-2 Single-Family Residential Zone with frontage on Parker Avenue. With this application, the applicant proposes to construct a new two story addition on the rear of the front dwelling and modify the driveway on the existing lot. The application is deemed complete as of July 1, 2020.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-2 Single Family Residential Zone
2. The following use ('d') variance is required as part of this application:
 - a. Only one single family detached residential dwelling per lot is permitted, whereas two dwellings exist and are proposed. The proposed improvements constitute an expansion of an existing non-conforming use.
3. The following non-conformities exist on Lot 54.01 and are not proposed to be modified as part of this application:
 - a. A minimum front yard setback of 25 feet is required, whereas a setback of approximately 14.25 feet exists to the front dwelling.

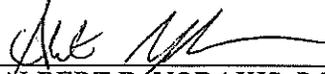
Re: Boro File No. MSPB-R1260
Variance – Maraziti
Block 62, Lot 54.01

July 1, 2020
Sheet 2

- b. A minimum side yard setback of 5 feet is required, whereas a setback of 1.0 feet exists to the rear dwelling.
 - c. A minimum rear yard setback of 20 feet is required, whereas a setback of approximately 15 feet exists to the rear dwelling.
 - d. A maximum driveway width of 20 feet is permitted, whereas a driveway width of approximately 33 feet exists and is proposed.
4. The proposed lot coverage is less than existing however the applicant should indicate that there are no proposed grading changes to the lot. If grading revisions are proposed, a revised grading plan must be submitted
 5. It appears that sufficient parking to meet the zoning ordinance requirements is provided for the dwelling units.
 6. A drainage recharge system in accordance with the Borough's stormwater ordinance is not required as the proposed addition does not increase the existing building footprint by more than 500 square feet.
 7. The applicant should confirm that the required 80 square feet of storage space exists for both dwellings.
 8. The location of any existing or proposed air conditioning units must be shown on the site plan.
 9. The proposed driveway material should be indicated on the plans.
 10. It does not appear that any existing trees will be removed as part of the application.
 11. Any new utilities should be located underground if possible.
 12. The two dwellings are required to be serviced by separate water and sewer lines.
 13. Any curb and sidewalk must be replaced along Parker Avenue as necessary.

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,


ALBERT D. YODAKIS, P.E., P.P.
PLANNING BOARD ENGINEER
BOROUGH OF MANASQUAN

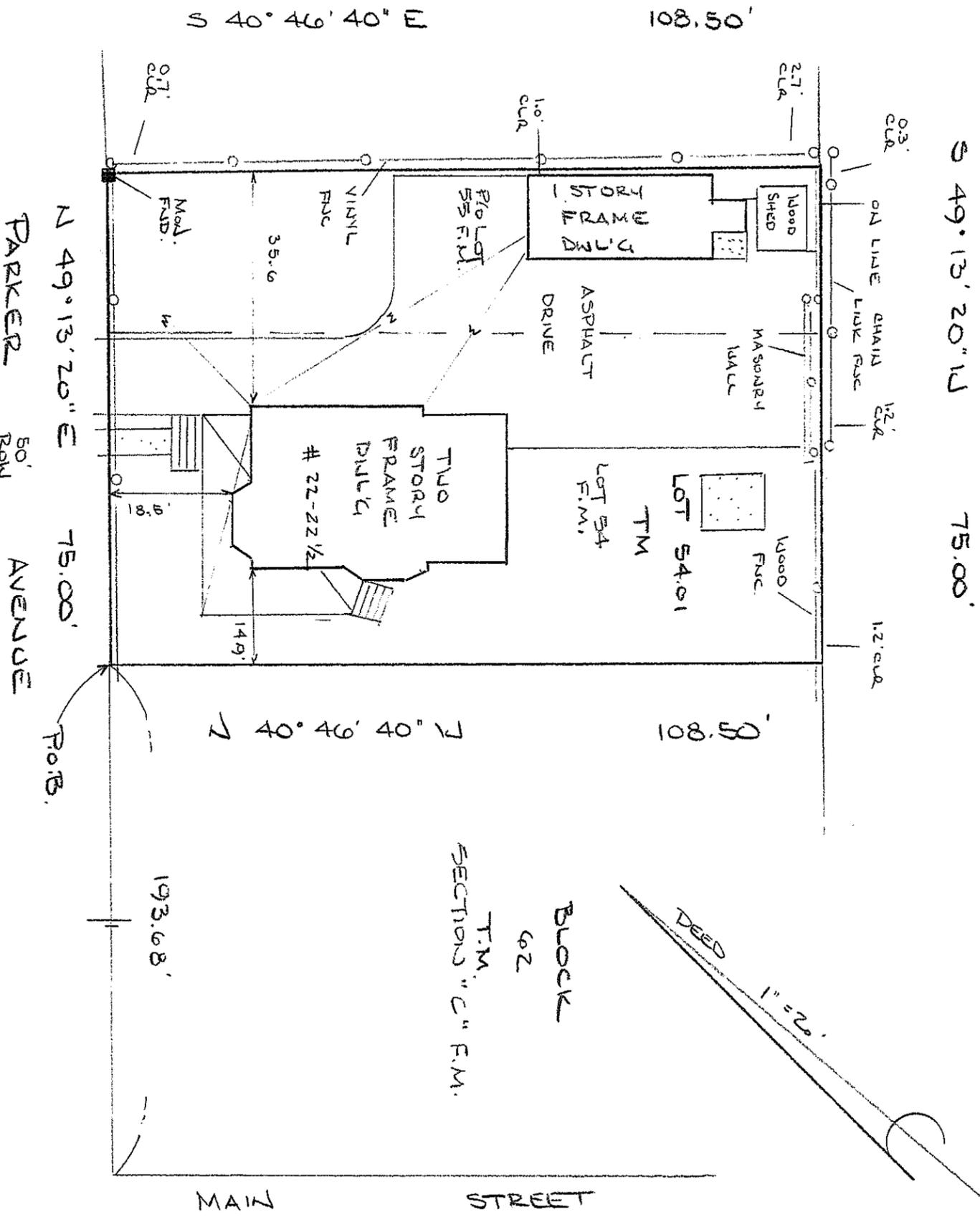
ADY:jy



Re: Boro File No. MSPB-R1260
Variance – Maraziti
Block 62, Lot 54.01

July 1, 2020
Sheet 3

cc: George McGill, esq., Planning Board Attorney
C. Keith Henderson, esq.
C. Keith Henderson & Associates, 52 Abe Voorhees Drive, Manasquan, NJ 08736
Richard Villano, AIA
2006 State Highway 71, Spring Lake, NJ 07762
Rhonda Maraziti
22 Parker Avenue, Manasquan, NJ 08736



REFERENCES:

"MAP OF THE PEARCE & PARKER TRACT", FILED
 1/30/1893, CASE NO. 63-2; DEED BOOK 5839, PAGE
 541; BORO OF MANASQUAN TAX MAP SHEET NO. 11

A WRITTEN WAIVER AND DIRECTION NOT TO SET
 CORNER MARKERS HAS BEEN OBTAINED FROM THE
 ULTIMATE USER PURSUANT TO P.L.2003, C.14c
 (C45:8-36.3) AND N.J.A.C. 13:40-5.1(d).

BRUNSWICK WEST, INC.
 LICENSED LAND SURVEYORS
 219 1/2 SOUTH MAIN STREET
 FLEMINGTON, NEW JERSEY 08822-1763
 PHONE (908) 284-0888 FAX (908) 284-2818

PLAN OF SURVEY
RHONDA MARAZITI
 BOROUGH OF MANASQUAN
 MONMOUTH COUNTY, NEW JERSEY
 BLOCK 62, LOT 54.01

C.A. #246A28022700

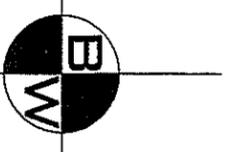
I HEREBY CERTIFY THIS SURVEY TO: RHONDA
 MARAZITI; JASON E. SHAMY, ESQUIRE;
 VINTAGE TITLE SERVICES, LLC; CROWN
 MORTGAGE SERVICES, ITS SUCCESSORS
 AND/OR ASSIGNS AS THEIR INTEREST MAY
 APPEAR

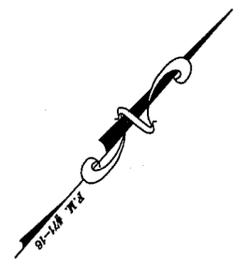
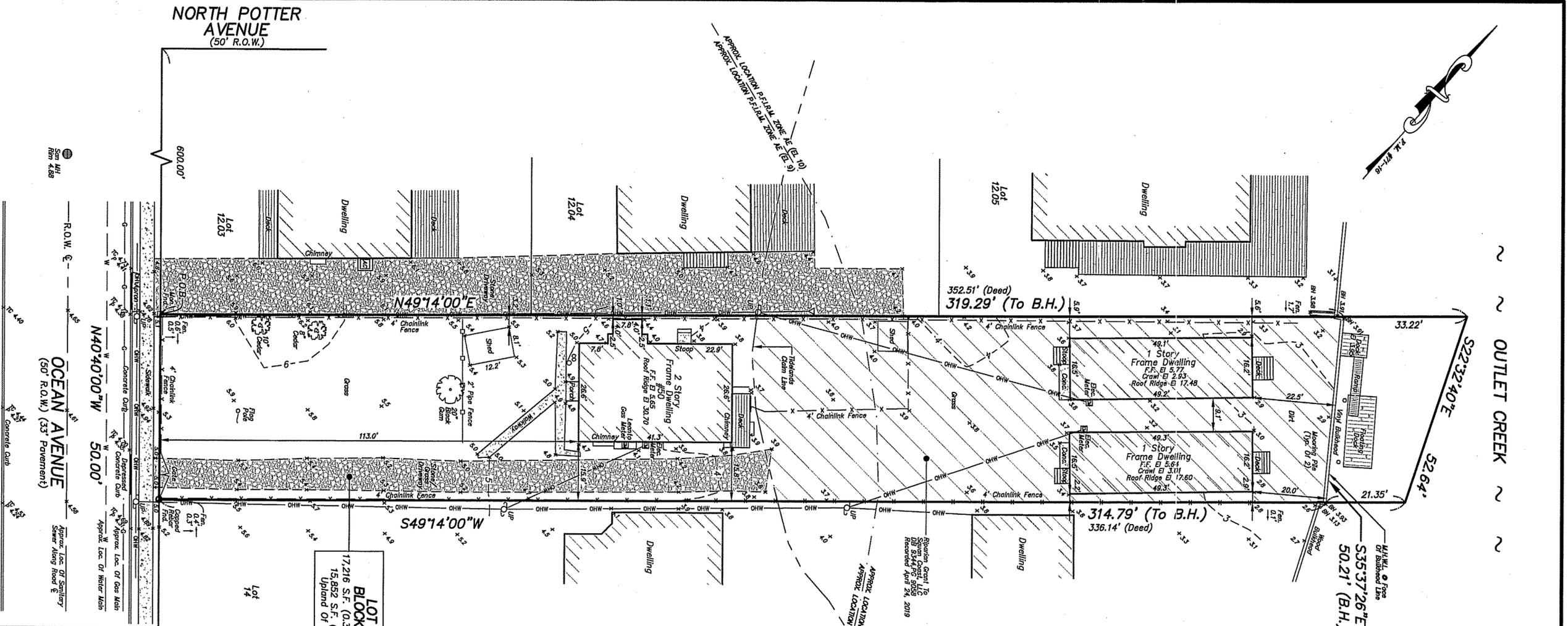


RICHARD S. ZINN
 N.J.L.S. 34888

TITLE #VTS-100568

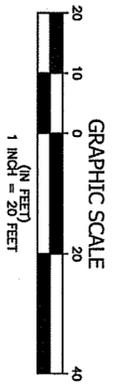
Drawn by SAC Job No. 16.2766 Date 12/22/2016
 Checked by HP Drawing No. _____ Scale 1"=20'





OUTLET CREEK

**LOT 13
BLOCK 162**
17,216 S.F. (0.395 Ac.) Deed
15,952 S.F. (0.364 Ac.)
Upland Of Buried



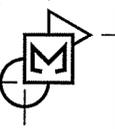
REFERENCES USED:
- FILED MAP CASE NO.: 71-16
- DEED BOOK 9199, PAGE 3570
- DEED BOOK 9344, PAGE 9058 - RIPARIAN GRANT

PROPERTY DESCRIPTION:
BEING KNOWN AS LOT 13 IN BLOCK 9 AS SHOWN ON A MAP ENTITLED "MAP OF THE ESTATE OF E.H. JACKSON, DECEASED, BOROUGH OF MANASSQUAN, MONMOUTH COUNTY, N.J.," FILED IN THE OFFICE OF THE MONMOUTH COUNTY CLERK ON JUNE 25, 1890 AS MAP CASE NO. 71-16.
ALSO BEING KNOWN AS LOT 13 IN BLOCK 162 ON THE OFFICIAL TAX MAP SHEET 25 OF BOROUGH OF MANASSQUAN, MONMOUTH, NEW JERSEY.

- NOTES:**
- ELEVATIONS BASED ON NAVD 1988 DATUM AND GPS RTK OBSERVATIONS.
 - PROPERTY LOCATED IN FLOOD ZONE AE (EL. 8), COMMUNITY NUMBER 345303 MAP NUMBER 340250C0458F, EFFECTIVE DATE SEPTEMBER 25, 2009. PROPERTY LOCATED IN FLOOD ZONE AE (EL. 9 & EL. 10), BASED ON FEMA PRELIMINARY FLOOD INSURANCE RATE MAPS RELEASED JANUARY 31, 2014.
 - TIDELANDS CLAIM LINE TAKEN FROM ELECTRONIC MEDIA PREPARED BY STATE OF NEW JERSEY, DEPARTMENT OF ENVIRONMENTAL PROTECTION, GIS RESOURCE DATA, TIDELANDS CLAIMS MAPS, GRID #462 2172 Y N 4622172.
 - PROPERTY CORNERS TO BE SET AT LATER DATE.

QUEST. DISBURSEMENT FROM BUREAU AND FINANCIAL SERVICE ARE NOT TO BE USED FOR ESTABLISHING PROPERTY LINES AND SETBACK LINES. THIS SURVEY SUBJECT TO ANY ASSIGNMENT OF RECORD AND OTHER PERMITTING FACTS WHICH AN ACQUIREE OF THIS SURVEY MUST UNDERSTAND. IMPROVEMENTS OR ENCROACHMENTS IF ANY, ARE NOT SHOWN HEREON UNLESS THEY ARE INDICATED BY THIS SURVEY. THIS SURVEY IS FOR THE PURPOSE OF RECORDING AND SETBACKS ONLY. THIS SURVEY IS NOT TO BE USED FOR ANY OTHER PURPOSE. THE STATE OF NEW JERSEY AS THE ENGINEER, ONLY OPINES FROM THE ORIGINAL ORIGINATOR OF THIS SURVEY. THE LAND SURVEYOR'S EXPRESSED SEAL SIGNATURE OF PROFESSIONAL ENGINEER AND LAND SURVEYOR. NO LIABILITY IS ASSUMED BY THE CHARTING SURVEYOR FOR THE USE OF ANY OTHER INFORMATION. THE CHARTING SURVEYOR'S SEAL SIGNATURE IS NOT TO BE USED FOR ANY OTHER PURPOSE. THE CHARTING SURVEYOR'S SEAL SIGNATURE IS NOT TO BE USED FOR ANY OTHER PURPOSE.

NO.	DATE	REVISION DESCRIPTION	BY
1	8/08/2019	ADD RIPARIAN GRANT	DSB

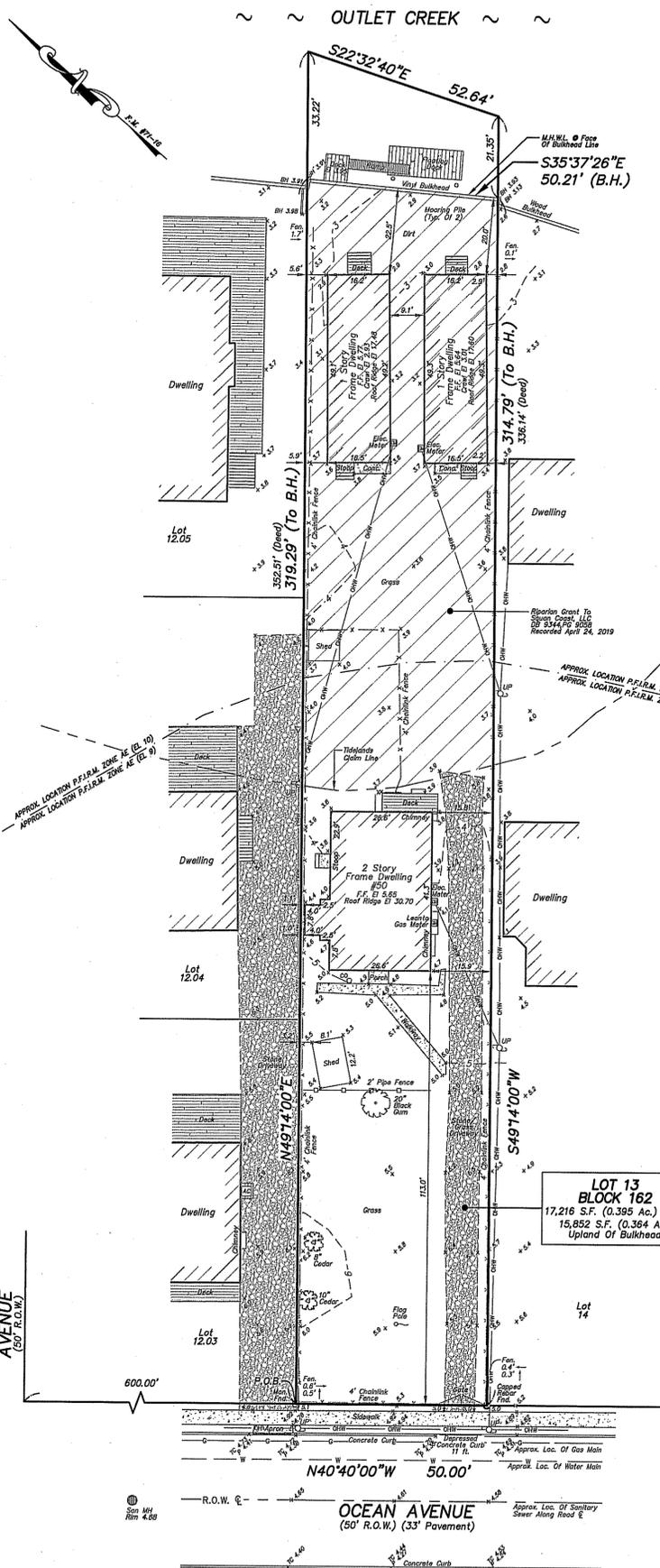


Lindstrom, Diessner & Carr, P.C.
ENGINEERING ♦ SURVEYING ♦ PLANNING
136 Dunn Point Road • Suite 6 • Brick, NJ 08723 • Tel.(732)477-8900 • Fax.(732)477-8026

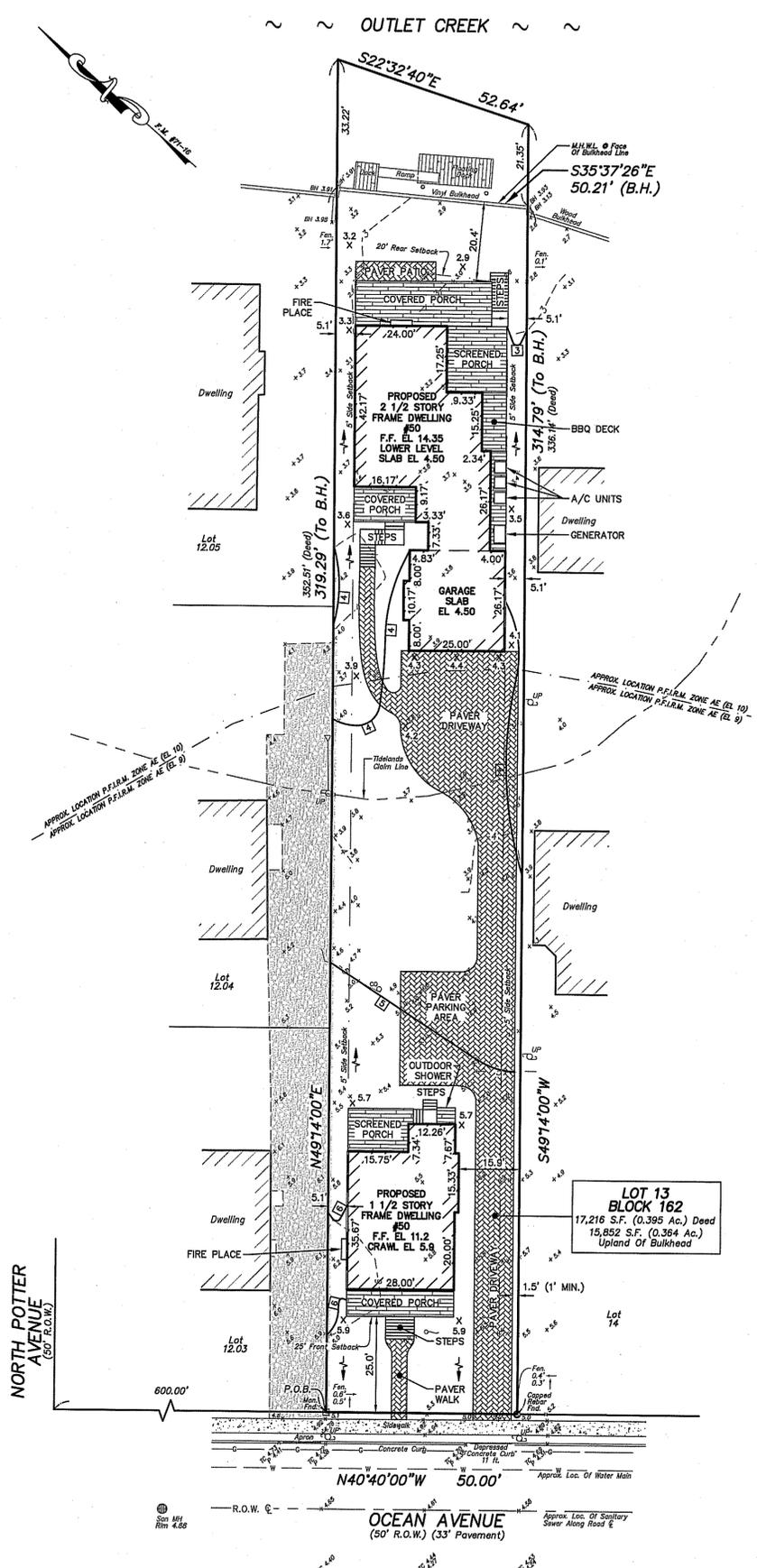
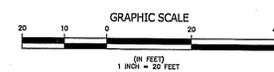
TOPOGRAPHIC SURVEY
LOT 13 BLOCK 162

William H. Doollittle
WILLIAM H. DOOLLITTLE
PROFESSIONAL LAND SURVEYOR N.J. LIC. NO. 24650367A000

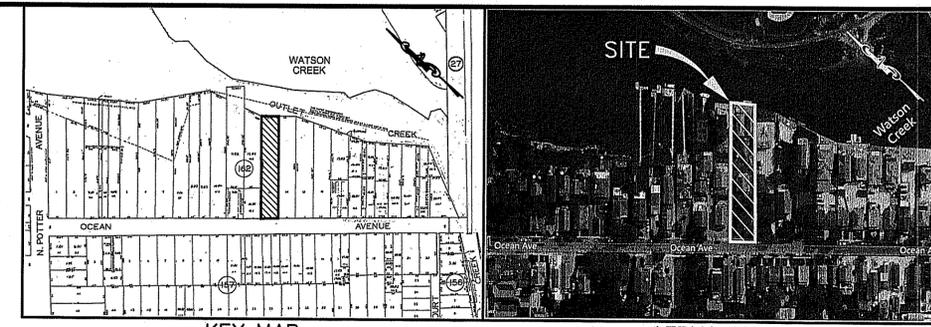
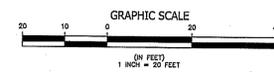
BOROUGH OF MANASSQUAN MONMOUTH COUNTY NEW JERSEY
DRAWN BY: DSB
SCALE: 1"=20'
DATE: 7/09/2019
SHEET: 1 OF 1
PROJECT: 19097



EXISTING CONDITIONS PLAN



PROPOSED CONDITIONS PLAN



KEY MAP
SCALE 1"=200'

AERIAL MAP
N.T.S.

LEGEND:

- 47--- EXISTING CONTOUR
- 123.45 PROPOSED CONTOUR
- 123.45 EXISTING SPOT GRADE
- 123.45 PROPOSED SPOT GRADE
- EXISTING INLET
- PROPOSED INLET
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING M.H.
- PROPOSED M.H.
- EXISTING UTILITY POLE
- PROPOSED UTILITY POLE
- SOIL BORING LOCATION
- EXISTING VALVE
- PROPOSED VALVE
- EXISTING WOODS LINE
- PROPOSED WOODS LINE
- TOB TOP OF BLOCK

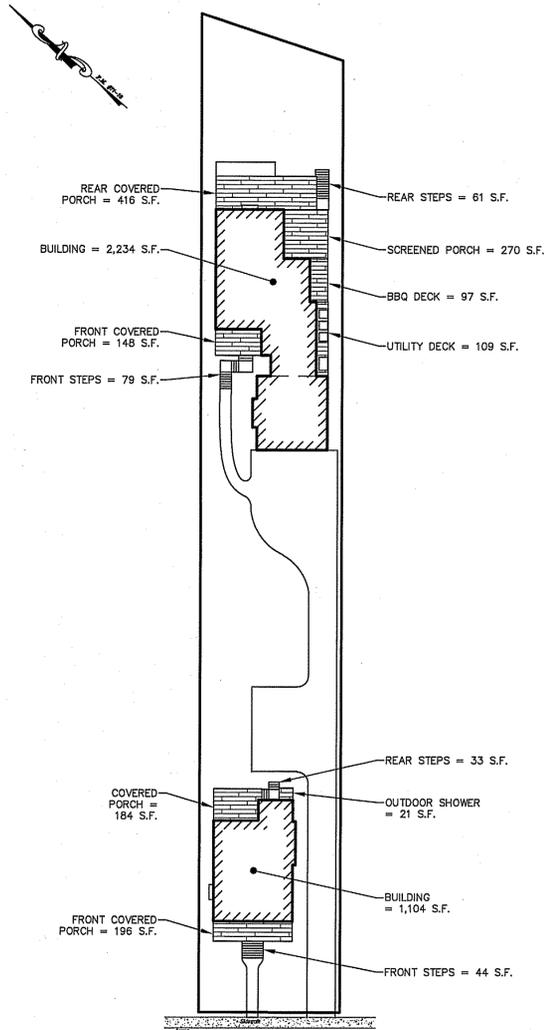
PROPERTY IS LOCATED IN THE R-2 RESIDENTIAL ZONE			
DESCRIPTION	REQUIRED	EXISTING	PROPOSED
MIN LOT SIZE	5,000 S.F.	15,582 S.F.	15,582 S.F.
LOT FRONTAGE	50 FT.	50 FT.	50 FT.
FRONT SETBACK	25 FT.	113.0 FT.	25.0 FT. (FRONT BLDG.)(N)
SIDE SETBACK	5 FT.	1.0 FT.*	5.1 FT. (FRONT BLDG.)(N)
REAR SETBACK	20 FT.	20.0 FT.	20.0 FT. (REAR BLDG.)(N)
BLDG. COVERAGE	4,675 S.F. (30%)	2,769 S.F. (16.1%)	4,552 S.F. (29.2%) (BOTH BLDGS.)
LOT COVERAGE	7,012 S.F. (43%)	3,387 S.F. (20.3%)	4,996 S.F. (29.2%) (BOTH BLDGS.)
BUILDING HEIGHT	38 FT.	30.7 FT.	35.4 FT. (FRONT BLDG.)(S)
	2 1/2 STORY	2 STORY	1 1/2 STORY (FRONT BLDG.)(S)
			38 FT. (REAR BLDG.)(N)
			2 1/2 STORY (REAR BLDG.)(N)

* PREEXISTING NON-COMFORMANCE
** VARIANCE REQUIRED

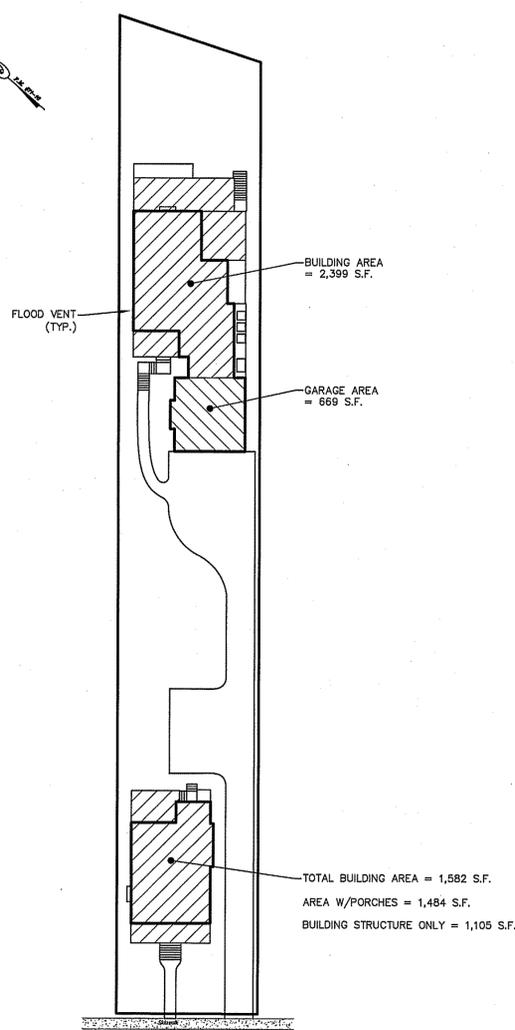
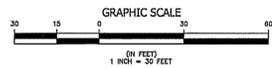
VARIANCE REQUESTED FOR 2 RESIDENTIAL DWELLINGS ON A SINGLE LOT.

- GENERAL NOTES:**
- SURVEY AND TOPOGRAPHY TAKEN FROM A PLAN ENTITLED "TOPOGRAPHIC SURVEY LOTS 28 & 25.01 BLOCK 30 BOROUGH OF SEA BRIGHT, MONMOUTH COUNTY, NEW JERSEY." PREPARED BY LINDSTROM, DIESSNER AND CARR P.C. DATED 7/09/2019, LATEST REVISION 8/05/2019. WILLIAM H. DOOLITTLE P.L.S. FOR M/M TIM & MERRITT MCCONNELL.
 - ELEVATIONS BASED ON NAVD 1988 DATUM AND GPS RTK OBSERVATIONS.
 - PROPERTY LOCATED IN FLOOD ZONE AE (EL. 8), COMMUNITY NUMBER 345303 MAP NUMBER 3402500496F, EFFECTIVE DATE SEPTEMBER 25, 2009. PROPERTY LOCATED IN FLOOD ZONE AE (EL. 9 & EL. 10), BASED ON FEMA PRELIMINARY FLOOD INSURANCE RATE MAPS RELEASED JANUARY 31, 2014.
 - UTILITIES ARE EXISTING AND SHALL REMAIN AND BE RECONNECTED TO PROPOSED DWELLING IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND UTILITY COMPANY REQUIREMENTS. LOCATION OF UTILITIES IS APPROXIMATE AND MUST BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION/EXCAVATION.
 - FOR COMPLETE BUILDING DIMENSIONS AND INFORMATION SEE ARCHITECTURAL PLANS.
 - THERE ARE NO WETLANDS ON SITE.
 - THERE IS NO BELOW GRADE BASEMENT PROPOSED.
 - A FOYER WITH A FLOOR THAT IS NOT 1 FOOT ABOVE THE BFE IS NOT PERMITTED.
 - DIRECT ROOF DRAINS TOWARD RECHARGE BED/STONE DRIVEWAY.
 - ANY AND ALL IMPORTED EARTHEN MATERIAL SHALL BE CERTIFIED CLEAN.
 - TIDELANDS CLAIM LINE TAKEN FROM ELECTRONIC MEDIA PREPARED BY STATE OF NEW JERSEY, DEPARTMENT OF ENVIRONMENTAL PROTECTION, GIS RESOURCE DATA, TIDELANDS CLAIMS MAPS, GRID #482 2172 1 N 4622172.
 - A MINIMUM OF 2 PARKING SPACES ARE PROPOSED FOR EACH UNIT. PARKING SPACES SHALL BE 9' x 19'.

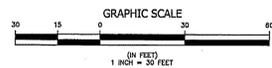
NO.	DATE	REVISION DESCRIPTION	BY
Lindstrom, Diessner & Carr, P.C. ENGINEERING ♦ SURVEYING ♦ PLANNING 136 Drum Point Road • Suite 6 • Brick, NJ 08723 • Tel.(732)477-8900 • Fax.(732)477-8026			
PLOT PLAN LOTS 13 BLOCK 162			
OWNER/APPLICANT: M/M TIM & MERRITT MCCONNELL 24 HENRIE LANE RIVERSIDE, CT 06878		BOROUGH OF MANASQUAN MONMOUTH COUNTY NEW JERSEY DRAWN BY: JGK SCALE: 1"=20' DATE: 4/23/2020 SHEET: 1 OF 2 PROJECT: 19097	



COVERAGE DIAGRAM

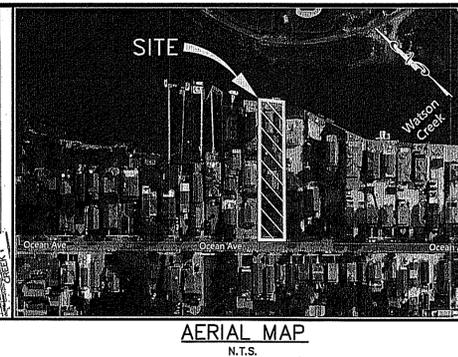
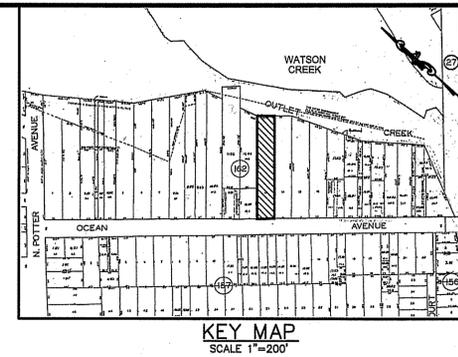


FLOOD VENT DIAGRAM



IMPERVIOUS COVERAGE TABLE	
DESCRIPTION	AREA
FRONT BUILDING (S)	1,104 S.F.
OUTDOOR SHOWER	21 S.F.
FRONT STEPS	44 S.F.
REAR STEPS	33 S.F.
FRONT COVERED PORCH	196 S.F.
REAR COVERED PORCH	184 S.F.
REAR BUILDING (N)	2,234 S.F.
FRONT COVERED PORCH	148 S.F.
SCREENED PORCH	270 S.F.
REAR COVERED PORCH	416 S.F.
FRONT STEPS	79 S.F.
REAR STEPS	61 S.F.
BBQ DECK	97 S.F.
UTILITY DECK	109 S.F.
TOTAL:	4,996 S.F.

BUILDING COVERAGE TABLE	
DESCRIPTION	AREA
FRONT BUILDING (S)	1,104 S.F.
FRONT COVERED PORCH	196 S.F.
REAR COVERED PORCH	184 S.F.
REAR BUILDING (N)	2,234 S.F.
FRONT COVERED PORCH	148 S.F.
SCREENED PORCH	270 S.F.
REAR COVERED PORCH	416 S.F.
TOTAL:	4,582 S.F.



FLOOD HAZARD CONTROL ACT NOTES

- DECK:
 - THE DECK IS NOT ENCLOSED WITH WALLS EITHER ABOVE OR BELOW ITS FLOOR EXCEPT FOR PROTECTIVE OR DECORATIVE FENCING, BANISTERS OR LATTICE WORK THAT ALLOW FLOODWATERS TO PASS FREELY.
 - THE DECK WILL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FEDERAL FLOOD REDUCTION STANDARDS 44 C.F.R. PART 60 & FEMA'S TECHNICAL BULLETINS.
 - THE DECK SHALL BE DESIGN AND CONSTRUCTED IN ACCORDANCE WITH PERMIT-BY-RULE 16 AT N.J.A.C. 7:13-7.16
- RESIDENTIAL CONSTRUCTION IN TIDAL FLOOD HAZARD AREA
 - THE PROPOSED FINISHED FLOOR LIVING SPACE IS ELEVATION 14.35 NAVD88 (EASTERN REAR HOUSE) 11.2 NAVD88 (WESTERN FRONT HOUSE).
 - LOWEST FLOOR SHALL MEET THE FOLLOWING:
 - THE ENCLOSURE IS USED SOLELY FOR PARKING OF VEHICLES, BUILDING ACCESS OR STORAGE;
 - THE FLOOR OF THE ENCLOSURE IS SITUATED AT OR ABOVE THE ADJOINING EXTERIOR GRADE ALONG AT LEAST ONE ENTIRE EXTERIOR WALL, IN ORDER TO PROVIDE POSITIVE DRAINAGE OF THE ENCLOSED AREA; AND
 - THE ENCLOSURE IS CONSTRUCTED WITH FEMA COMPLIANT PERMANENT FLOOD OPENINGS THAT MEET THE REQUIREMENTS OF THE UNIFORM CONSTRUCTION CODE AT N.J.A.C. 5:23
 - THE DEED FOR THE LOT ON WHICH THE ENCLOSURE OR GARAGE IS CONSTRUCTED IS MODIFIED TO:
 - EXPLAIN THAT THE ENCLOSURE OR GARAGE IS LIKELY TO BE INUNDATED BY FLOODWATERS, WHICH MAY RESULT IN DAMAGE AND/OR INCONVENIENCE.
 - DISCLOSE THE DEPTH OF FLOOD THAT THE ENCLOSURE OR GARAGE WOULD EXPERIENCE DURING THE FEMA 100-YEAR FLOOD AND FLOOD HAZARD AREA DESIGN FLOOD, IF EITHER ELEVATION IS KNOWN;
 - PROHIBIT HABITATION OF THE ENCLOSURE OR GARAGE; AND
 - EXPLAIN THAT CONVERTING THE ENCLOSURE OR GARAGE INTO A HABITABLE AREA MAY SUBJECT THE PROPERTY OWNER TO ENFORCEMENT ACTION BY THE NJDEP.
 - THE PROPOSED DRIVEWAY ASSOCIATED WITH HABITABLE BUILDING SHALL MEET THE REQUIREMENTS AT N.J.A.C. 7:13-12.6(d). THE DRIVEWAY WILL NOT BE CONSTRUCTED FOR A BUILDING THAT IS PART OF RESIDENTIAL SUBDIVISION OR MULTIFAMILY DEVELOPMENT AND A DEED MODIFICATION WILL BE PROVIDED IN ACCORDANCE WITH 12.6(f), SINCE IT IS NOT FEASIBLE TO CONSTRUCT THE DRIVEWAY AT LEAST ONE FOOT ABOVE THE BFE OF 10.0' NAVD.

FLOOD VENTS SHALL MEET THE FOLLOWING:

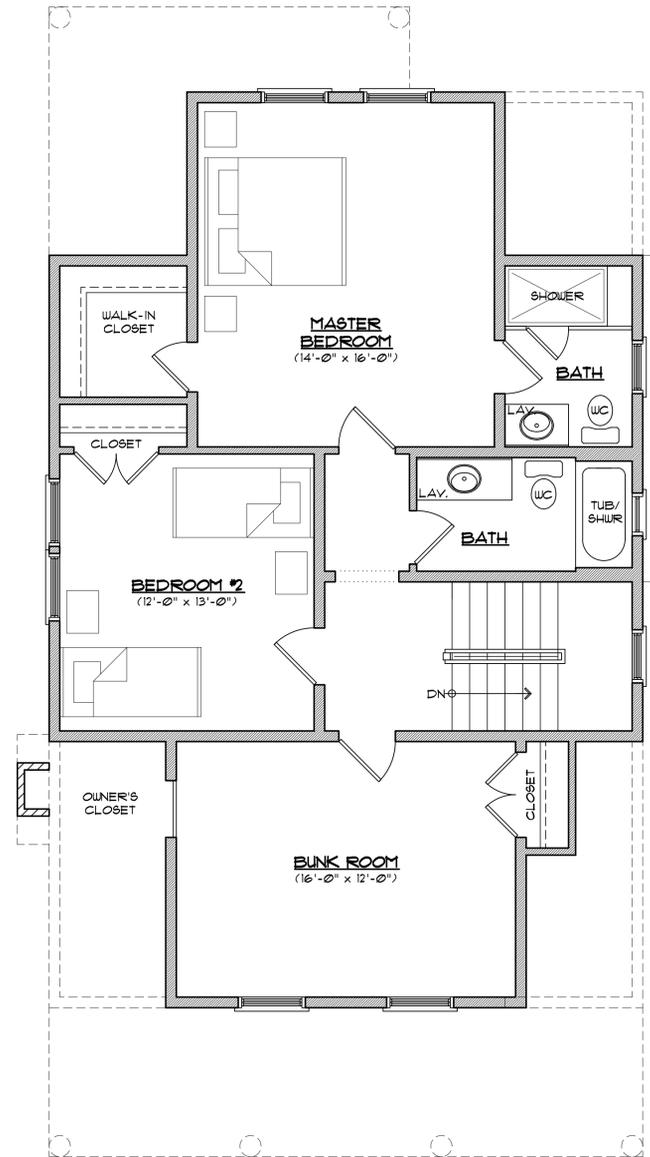
- THE INVERT OF EACH FLOOD VENT SHALL BE NO MORE THAN 12 INCHES ABOVE THE ADJOINING EXTERIOR GRADE OR INTERIOR SLAB.
- THE INVERT OF AT LEAST HALF OF THE FLOOD VENTS SHALL BE NO MORE THAN 12 INCHES ABOVE THE FLOOR OF THE BUILDING;
- THE COMBINED EFFECTIVE OPEN AREA OF THE FLOOD VENTS SHALL BE AT LEAST ONE SQUARE INCH PER SQUARE FOOT OF THE AREA OF THE FOOTPRINT OF THE BUILDING, UNLESS A SMALLER FEMA-APPROVED DEVICE WITH AN EQUIVALENT EFFECTIVE AREA IS UTILIZED; AND
- THE FLOOD VENTS SHALL NOT BE BLOCKED AT ANY TIME, BUT SHALL PERMANENTLY REMAIN OPEN SO THAT THE FLOODWATERS CAN FREELY ENTER THE BUILDING TO BALANCE HYDROSTATIC PRESSURE DURING A FLOOD.
- NO FLOOD VENT SHALL BE PLACED CLOSER THAN 3 FEET TO A GAS METER OR GAS CONSUMING APPLIANCE.
- SEE ARCHITECTURAL PLANS FOR FLOOD VENT DETAILS AND MODEL.

1,484 S.F. FRONT BUILDING ACCESS + 200 S.F./VENT = 8 VENTS REQUIRED 8 VENTS PROVIDED MINIMUM
 2,399 S.F. REAR BUILDING ACCESS + 200 S.F./VENT = 13 VENTS REQUIRED 13 VENTS PROVIDED MINIMUM
 669 S.F. REAR GARAGE + 200 S.F./VENT = 4 VENTS REQUIRED 4 VENTS PROVIDED MINIMUM

LEGEND:

- 47--- EXISTING CONTOUR
- 1281--- PROPOSED CONTOUR
- 123.45 EXISTING SPOT GRADE
- 123.45 PROPOSED SPOT GRADE
- EXISTING INLET
- PROPOSED INLET
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING M.H.
- PROPOSED M.H.
- EXISTING UTILITY POLE
- PROPOSED UTILITY POLE
- SOIL BORING LOCATION
- EXISTING VALVE
- PROPOSED VALVE
- EXISTING WOODS LINE
- PROPOSED WOODS LINE
- TOB TOP OF BLOCK

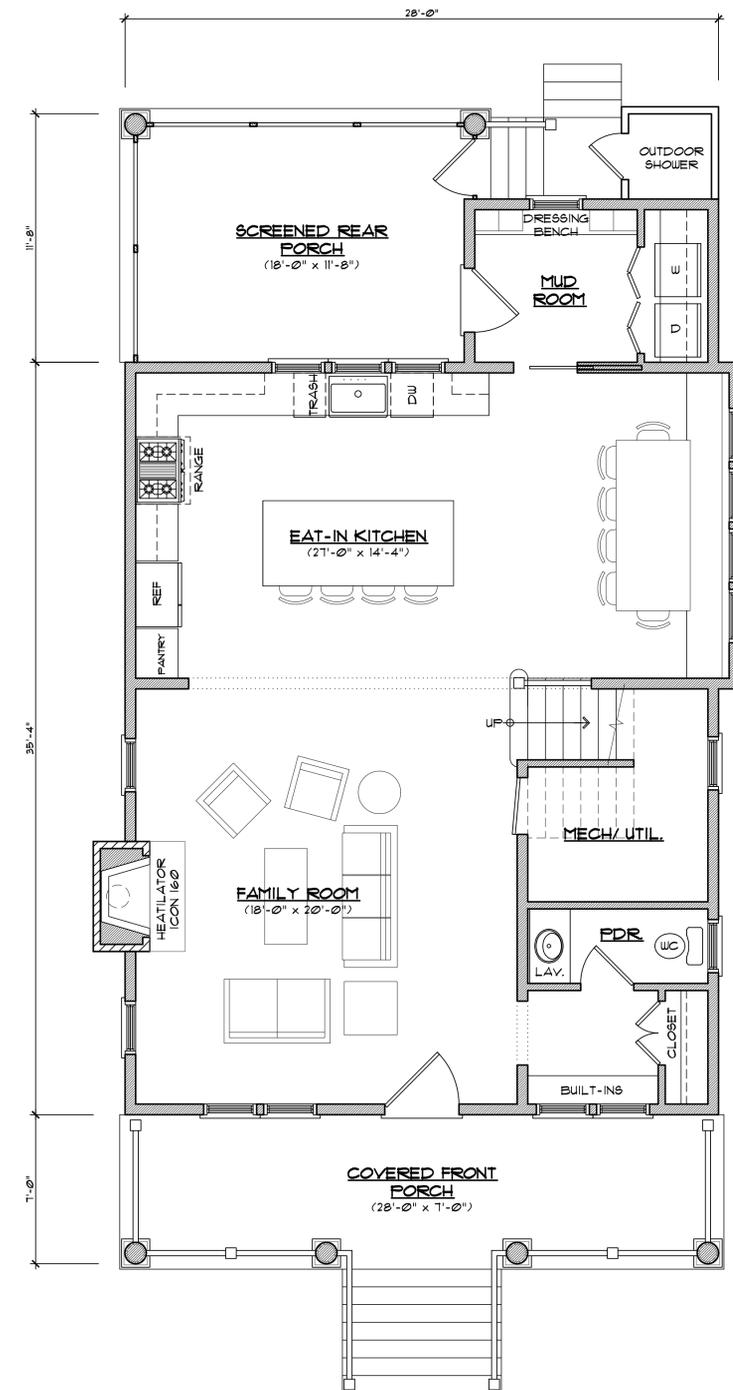
NO.	DATE	REVISION DESCRIPTION	BY
<p>Lindstrom, Diessner & Carr, P.C. ENGINEERING ♦ SURVEYING ♦ PLANNING 138 Drum Point Road • Suite 6 • Brick, NJ 08723 • Tel.(732)477-8900 • Fax.(732)477-8028</p>			
<p>PLOT PLAN LOT 13 BLOCK 162</p>			
<p>CHARLES E. LINDSTROM PROFESSIONAL ENGINEER N.J. LIC. NO. 24602473900 PROFESSIONAL PLANNER N.J. LIC. NO. 33100233500</p>		BOROUGH OF MANASQUAN DRAWN BY: JGK SCALE: 1"=30'	MONMOUTH COUNTY DATE: 4/23/2020 SHEET: 2 OF 2 PROJECT: 19097



SECOND FLOOR PLAN (COTTAGE)

SCALE: 1/4" = 1'-0"

GROSS HABITABLE AREA: 980 SF



FIRST FLOOR PLAN (COTTAGE)

SCALE: 1/4" = 1'-0"

GROSS HABITABLE AREA: 1,091 SF



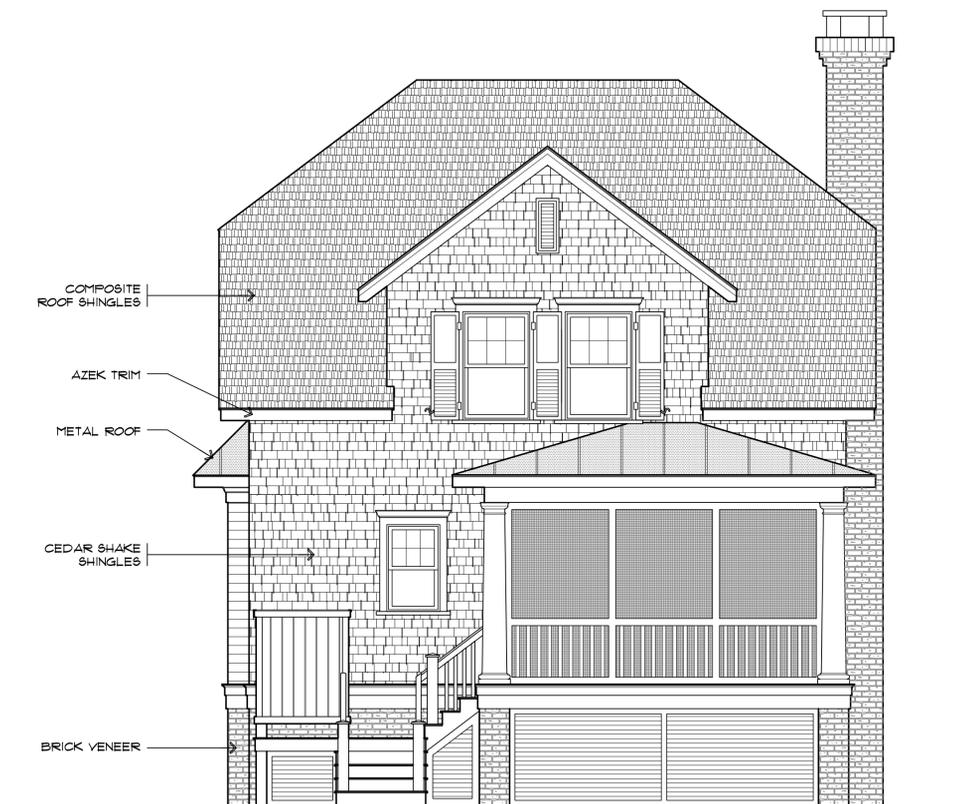
WEST ELEVATION (COTTAGE)
SCALE: 1/4" = 1'-0"



FRONT ELEVATION (COTTAGE)
SCALE: 1/4" = 1'-0"

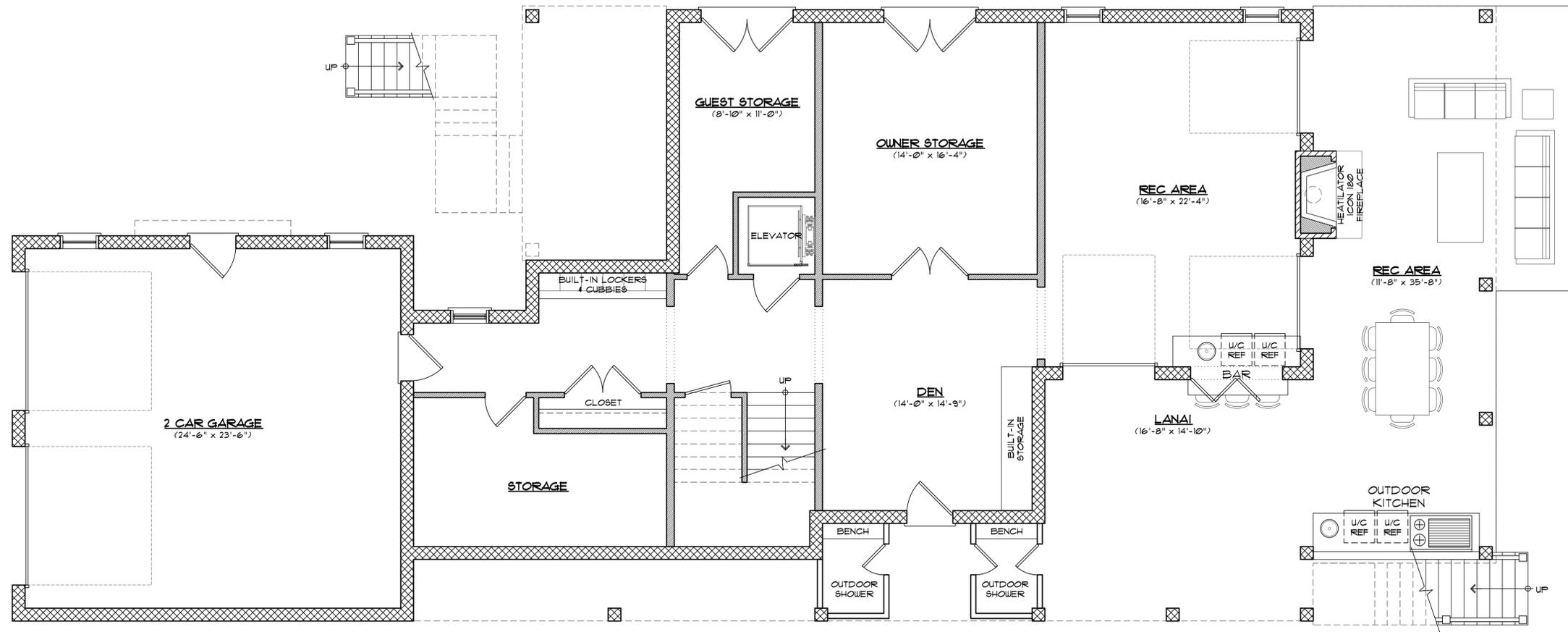


EAST ELEVATION (COTTAGE)
SCALE: 1/4" = 1'-0"

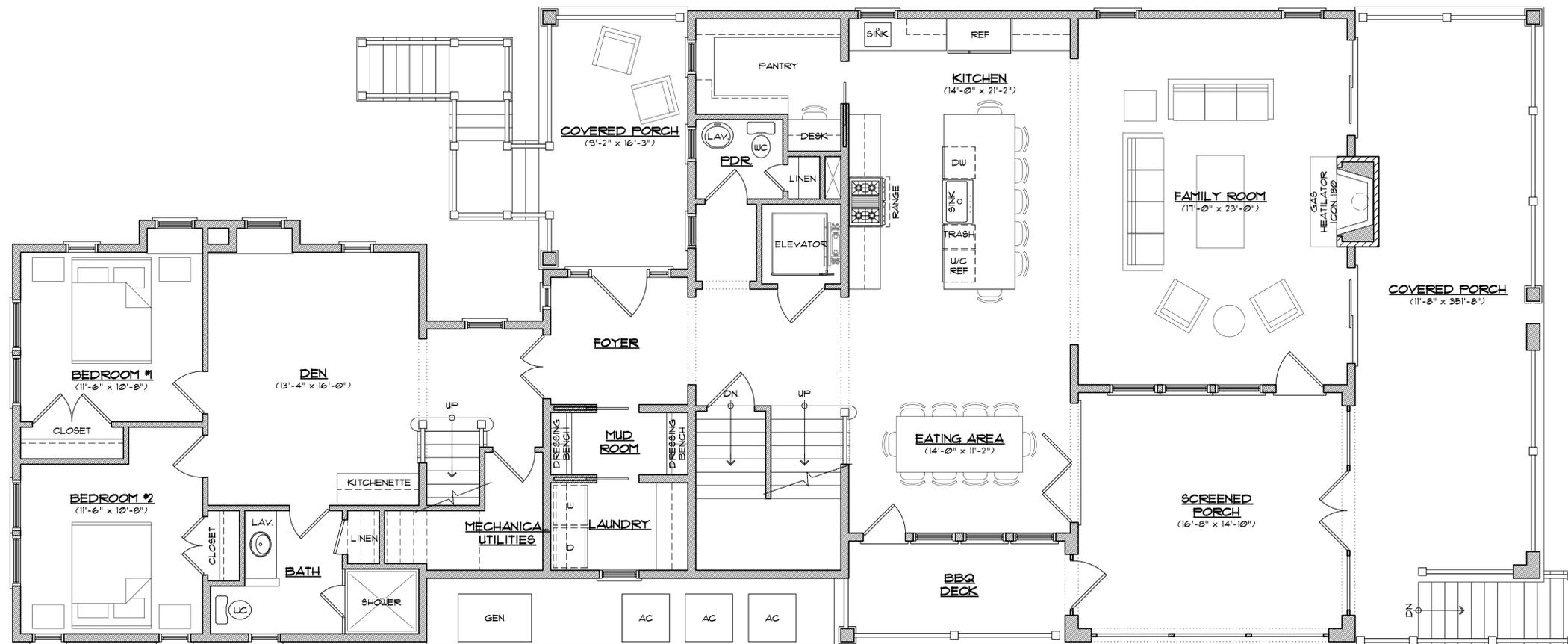


REAR ELEVATION (COTTAGE)
SCALE: 1/4" = 1'-0"





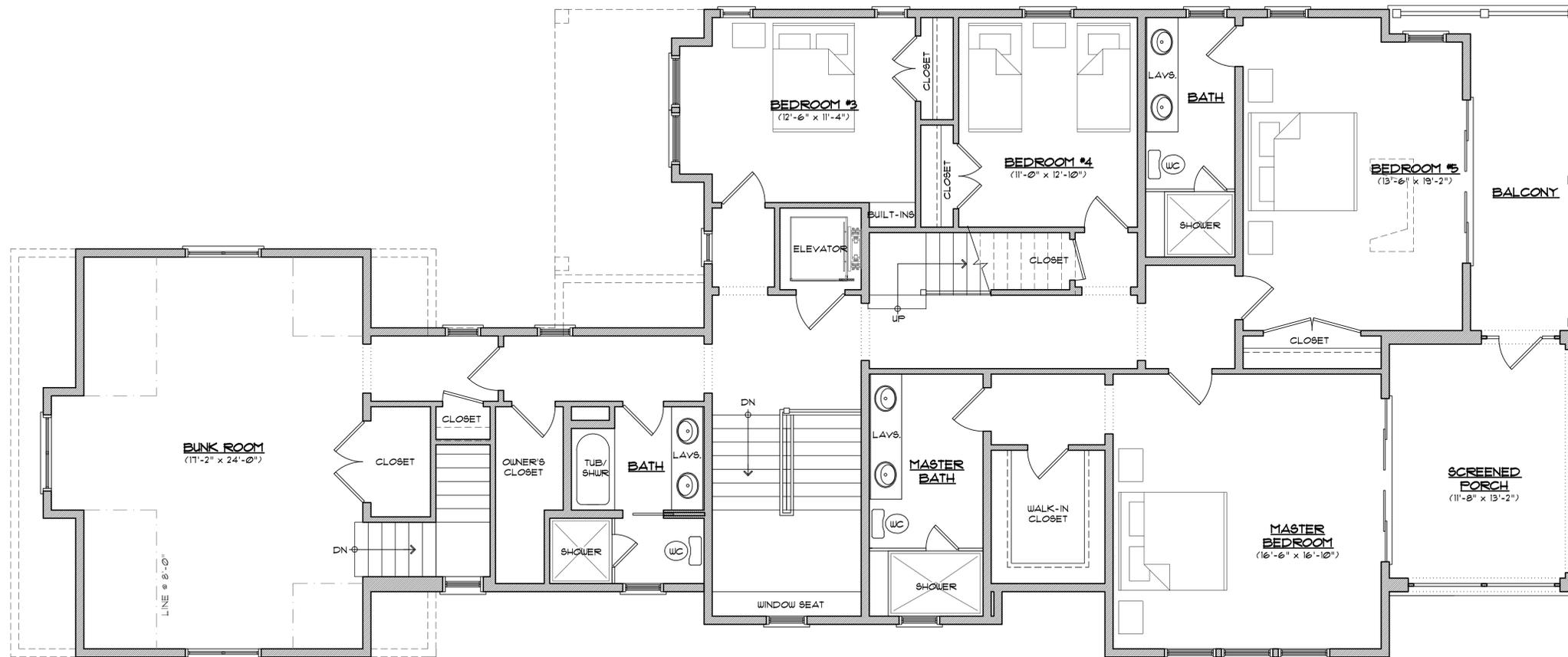
GROUND FLOOR PLAN (MAIN HOUSE)
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN (MAIN HOUSE)

SCALE: 1/4" = 1'-0"

GROSS HABITABLE AREA = 2,221 SF



SECOND FLOOR PLAN (MAIN HOUSE)

SCALE: 1/4" = 1'-0"

GROSS HABITABLE AREA = 2,568 SF

NEW CONSTRUCTION
MCCONNELL RESIDENCE
50 OCEAN AVENUE MANASQUAN, NJ
LOT: 13 BLOCK: 162

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REVISIONS:

COMM. 1936

DRAWN BY: DCB

DATE: 5/12/20



A=5

NEW CONSTRUCTION
MCCONNELL RESIDENCE
50 OCEAN AVENUE MANASQUAN, NJ
LOT: 13 BLOCK: 162

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REVISIONS:

COMM. 1936

DRAWN BY: DCB

DATE: 5/12/20



A-6

SHT. 7 OF 8



SOUTH ELEVATION (MAIN HOUSE)

SCALE: 1/4" = 1'-0"



WEST ELEVATION (MAIN HOUSE)

SCALE: 1/4" = 1'-0"

NEW CONSTRUCTION
MCCONNELL RESIDENCE
50 OCEAN AVENUE MANASQUAN, NJ
LOT: 13 BLOCK: 162

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REVISIONS:

COMM. 1936

DRAWN BY: DCB

DATE: 5/12/20



A = 7

SHT. 8 OF 8



NORTH ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"

MARK R. AIKINS, L.L.C.
COUNSELORS AT LAW
AUTUMN RIDGE OFFICE PARK
3350 ROUTE 138, BUILDING 1, SUITE 113
WALL, NEW JERSEY 07719

MARK R. AIKINS
E-MAIL: maikins@aikinslaw.com
WEBSITE: www.aikinslaw.com

TELEPHONE: 732-280-2606

FACSIMILE: 732-280-8084

July 29, 2020

Hand Delivery

Ms. Mary Salerno
Planning/Zoning Board Secretary
Borough of Manasquan
201 E. Main Street
Manasquan, New Jersey 08736

RE: BLOCK 162, LOT 13
50 Ocean Avenue
Squan Coast, LLC

Dear Ms. Salerno:

Pursuant to the Zoning Denial Letter, enclosed please find the following documents;

1. 20 copies of Planning Board Application
2. Zoning Denial Letter dated June 3, 2020
3. 2 full size sets of architectural plans prepared by Rice & Brown, Architects, dated May 12, 2020
4. 18 copies reduced to 11 x 18
5. 2 full size Plot Plans prepared by Lindstrom, Diessner & Carr, P.C., dated April 23, 2020
6. Copy of Survey
7. Certification of Taxes Paid
8. Check #3668 payable to the Borough of Manasquan in the amount of \$700.00 representing the application fees
9. Check #3669 payable to the Borough of Manasquan in the amount of \$2,200.00 representing the escrow fees
10. W-9 Form

Page 2
July 29, 2020

RE: Block 162, Lot 13
Squan Coast, LLC

Should you require additional information and/or documentation in order to deem this matter complete for hearing before the Board, please do not hesitate to contact our office.

Thank you.

Very truly yours,



Mark R. Aikins

MRA:mb
Enclosures

cc: Squan Coast, LLC, w/o/encs. (via e-mail)
Christopher Rice, Architect, w/o/enc. (via e-mail)

BOROUGH HALL
201 EAST MAIN STREET

EDWARD G. DONOVAN
Mayor

THOMAS F. FLARITY
Municipal Administrator

Incorporated December 30, 1887

CONSTRUCTION DEPARTMENT

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

732-223-0544
Fax 732-223-1300

FRANK DiROMA
Supervisor of Code Enforcement

ALBERT "SANDY" RATZ
Construction Official

APPLICATION TO THE PLANNING BOARD

Applicant's Name Squan Coast, LLC

Applicant's Address c/o Mark R. Aikins, Esquire, 3350 Rt. 138, Bld., 1, Ste. 113, Wall, NJ 07719

Telephone Number c/o 732-280-2606
(Home and Cell)

Property Location 50-50 1/2 Ocean Avenue
Block: 162 Lot 13

Type of Application Bulk Variance
Bulk Variance, Non-Permitted Use - Conditional Use - Subdivision - Minor
Subdivision - Major - Site Plan Approval

Date of Zoning Officer's Denial Letter June 3, 2020
Zoning Permit Application Attached

Plot Plan (Survey) not older than five (5) years, clearly indicating all buildings and setbacks.

Is the Applicant the Landowner? Yes
Does the Applicant own any adjoining land? No
Are the property Taxes paid to date? Yes
Have there been any previous applications to the Planning Board concerning this property? No
(Attach copies)

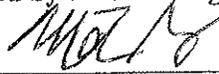
Have there been any previous applications to the Planning Board. If there were please attach copies.

No

Are there any Deed Restrictions, easements, or covenants affecting this property and if so please attach No

The applicant agrees to be responsible for and pay the costs entailed in the review of this application by any experts retained by the Planning Board for advice in this matter.

Signature of Applicant or Agent



Date July 29 2020

Mark R. Aikins, Esquire, Attorney for Applicant/Owner
Squan Coast, LLC

BOROUGH HALL
201 EAST MAIN STREET

EDWARD G. DONOVAN
Mayor

THOMAS F. FLARITY
Municipal Administrator

Incorporated December 30, 1887

CONSTRUCTION DEPARTMENT

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

732-223-0544
Fax 732-223-1300

FRANK F. DIROMA
Supervisor of Code Enforcement

STEVEN J. WINTERS
Construction Official

June 3, 2020

Mark Aikins, Esq.
3350 Route 138, Building 1, Suite 113
Wall, NJ 07719

Re: Block: 162 Lot: 13 Zone: R-2 Flood Zone: AE BFE: 9, 10 DFE: 10, 11
Squan Coast, LLC – 50-50 ½ Ocean Avenue

Dear Sir:

On this date we reviewed your application to remove all of the existing buildings and structures on the property and construct two single family dwellings.

Plot plan prepared by Charles Lindstrom on April 23, 2020. Conceptual plans prepared by Christopher Rice on May 12, 2020.

Application denied for the following reason(s):

Section 35-5.3 – R-2 Zone – Only one single family dwelling permitted
Two single family dwellings proposed

50 Ocean Avenue:

Section 35-7.7 – Driveway width – 20ft Permitted
30ft. Proposed

Section 35-7.8 – Requires a minimum 80s.f. dedicated storage area.

Additional required documentation:

- Location of any mechanical equipment.
- Plot plan revised to comply with Section 28-1.3.

50 ½ Ocean Avenue:

Section 35-7.7 – Driveway width – 20ft. Permitted
30ft. Proposed

Additional require documentation:

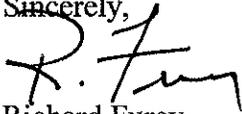
- Plot plan revised to show compliance with Section 28-1.3.

Site:

Prior approval from the Shade Tree Commission regarding any trees that are going to be removed.

If you have any questions, please call me at 732- 223 – 0544 ext. 256.

Sincerely,



Richard Furey
Zoning Officer

BLQ: 162. 13.
Owner Name: SQUAN COAST LLC

Tax Year: 2020 to 2020
Property Location: 50-50-1/2-52 OCEAN AVE

Tax Year: 2020	Qtr 1	Qtr 2	Qtr 3	Qtr 4	Total
Original Billed:	2,962.28	2,962.27	3,193.50	3,193.49	12,311.54
Payments:	2,962.28	2,962.27	0.00	0.00	5,924.55
Balance:	0.00	0.00	3,193.50	3,193.49	6,386.99

Date	Qtr	Type	Code	Check No	Mthd	Reference	Batch Id	Principal	Interest	2020 Prin Balance
								12,311.54		12,311.54
12/02/19	1	Payment	001	3627	CK	26915	28 PLT	2,962.28	0.00	9,349.26
		Description								
		Original Billed								
		12-02-19								
12/02/19	2	Payment	001	3627	CK	26915	29 PLT	2,962.27	0.00	6,386.99
		Description								
		12-02-19								

Total Principal Balance for Tax Years in Range: 6,386.99

TIMOTHY M. MCCONNELL
MERRITT C. MCCONNELL
24 HENDRIE LANE
RIVERSIDE, CT 06878

Morgan Stanley 3668
PREMIER 25-80/440
Date 7/16/20

Pay to the Borough of Mansquan
Order of Seven hundred and 00/100 \$ 700.00
Dollars

UNB Bank, N.A.
Kansas City, MO 64116
1-800-488-3447

Expense Analyzer

Merritt McConnell

FOR _____
⑆044000804⑆8902012088152⑆ 3558

TIMOTHY M. MCCONNELL
MERRITT C. MCCONNELL
24 HENDRIE LANE
RIVERSIDE, CT 06878

Morgan Stanley 3669
PREMIER 25-80/440
Date 7/16/20

Pay to the Borough of Mansquan
Order of Two thousand and 00/100 \$ 2,200.00
Dollars

UNB Bank, N.A.
Kansas City, MO 64116
1-800-488-3447

Expense Analyzer

Merritt McConnell

FOR _____
⑆044000804⑆8902012088152⑆ 3559

August 24, 2020

Mary Salerno, Secretary
Manasquan Borough Planning Board
201 East Main Street
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1290
Variance – Squan Coast LLC
Block 162, Lot 13
50 - 50½ Ocean Avenue
R-2 Single-Family Residential Zone
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Salerno:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Site Plan prepared by Charles Lindstrom, PE, PP, of Lindstrom, Diessner & Carr, P.C., dated April 23, 2020.
2. Architectural Floor Plans, Elevations, and Renderings by Christopher Rice, AIA, of Rice and Brown Architects, dated May 12, 2020.

The property is located in the R-2 Single-Family Residential Zone with frontage on Ocean Avenue. With this application, the applicant proposes to construct two new dwellings, a 1½ story front dwelling and 2½ story rear dwelling, and associated site improvements on the existing lot. The application is deemed complete as of August 24, 2020.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-2 Single Family Residential Zone
2. The following use ('d') variance is required as part of this application:
 - a. Only one single family detached residential dwelling per lot is permitted, whereas two dwellings are proposed (three exist).
3. The following bulk ('c') variances are required as part of this application:
 - a. A maximum driveway width of 20 feet is permitted, whereas a driveway width of 30 feet is proposed at the front and rear dwelling.

Re: Boro File No. MSPB-R1290
Variance – Squan Coast LLC
Block 162, Lot 13

August 24, 2020
Sheet 2

- b. A dedicated 80 square feet of storage space is required for each dwelling, whereas the required storage space does not appear provided for the front dwelling.
- c. Standby generators must be located in the rear yard, whereas the generator for the rear dwelling is located in the easterly side yard. The generator must also be screened so as not to be visible from adjacent properties.
4. The applicant proposes the first floor elevation of the front dwelling at 11.2 feet and the rear dwelling at 14.35, where the current base flood elevation is 10 feet for the rear dwelling and 9 feet for the front dwelling.
5. Grading on the east side of the property appears to potentially create a low area on adjacent Lot 14 near the dwelling on that lot. Additional grading information which demonstrates the area will drain or a revised grading plan must be submitted.
6. Landings for the stairs for both dwellings should be shown on the plan and included in the lot coverage calculations. Also, any housewalk proposed from the front dwelling's parking area to the dwelling's steps should be shown. It does not appear that including these areas in the lot coverage will result in a variance condition.
7. The location of the air conditioning units for the front dwelling must be shown on the plan and elevations for all of the units provided. The units for the rear dwelling are located on the east side but are outside of the side yard setback.
8. The applicant is not proposing a stormwater recharge system as required by the Borough's stormwater ordinance. It is assumed that it is not proposed due to the high groundwater, however testimony should be provided to justify a waiver for its elimination and test pit data to verify the seasonal high groundwater elevation.
9. Sufficient parking spaces are provided for both of the proposed dwellings.
10. It does not appear that any existing trees will be removed as part of the application.
11. A landscaping plan for the property must be provided.
12. The two dwellings must be serviced by separate water and sewer services and any new utilities should be located underground if possible.

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,


ALBERT D. YODAKIS, P.E., P.P.
PLANNING BOARD ENGINEER
BOROUGH OF MANASQUAN



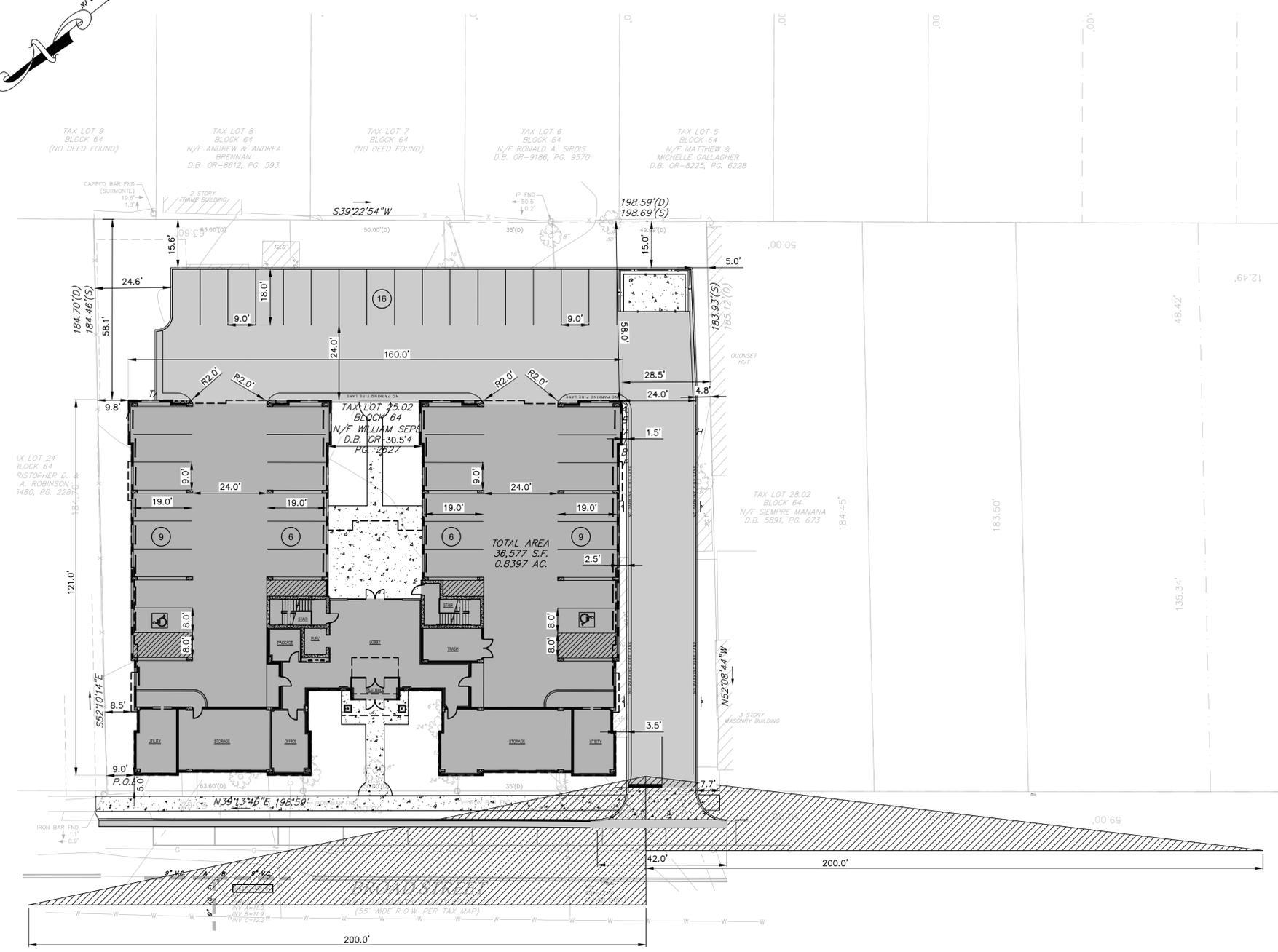
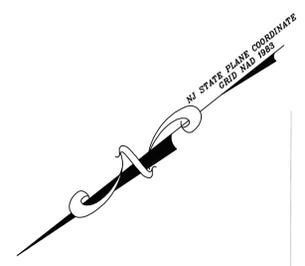
Re: Boro File No. MSPB-R1290
Variance – Squan Coast LLC
Block 162, Lot 13

August 24, 2020
Sheet 3

ADY:jy

cc: George McGill, esq., Planning Board Attorney
Mark Aikins, esq.
3350 Route 138, Bldg 1, Suite 113, Wall, NJ 07719
Charles Lindstrom, PE
Lindstrom, Diessner & Carr, 136 Drum Point Road, Suite 6, Brick, NJ 08723
Christopher Rice, AIA
Rice and Brown Architects, 544 Washington Boulevard, Sea Girt, NJ 08750

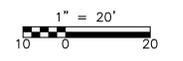
ENGENUITY INFRASTRUCTURE AND ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF ENGENUITY INFRASTRUCTURE.



- GENERAL NOTES:**
1. SURVEY INFORMATION SHOWN HEREON BASED ON A PLAN ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY, TAX LOTS 25.01, 25.02, 26, & 27" PREPARED BY DPK CONSULTING DATED AUGUST 9, 2018
 2. ENGENUITY INFRASTRUCTURE MAKES NO GUARANTEES THAT THE UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. ENGENUITY INFRASTRUCTURE FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ENGENUITY INFRASTRUCTURE HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES IN THE FIELD PRIOR TO EXCAVATION. THE CONTRACTOR SHALL ALSO BE REQUIRED TO CALL FOR A MARK-OUT PRIOR TO ANY WORK.
 3. PREMISES ARE COMMONLY KNOWN AS 34-44 BROAD STREET, MANASQUAN BOROUGH, MONMOUTH COUNTY, NEW JERSEY.
 4. PREMISES ARE ALSO KNOWN AS BLOCK 64, LOTS 25.01, 25.02, 26, AND 27 AS SHOWN ON THE OFFICIAL TAX MAPS OF THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY.
 5. ALL PROPOSED IMPROVEMENTS SHALL BE A.D.A. COMPLIANT, WHERE APPLICABLE.
 6. IF THIS DOCUMENT DOES NOT CONTAIN A RAISED SEAL OF THE UNDERSIGNED PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT.
 7. THE LAYOUT AND DESIGN ARE SUBJECT TO FURTHER MODIFICATION TO COMPLY WITH APPROVALS FROM AGENCIES HAVING JURISDICTION OVER THE SITE.
 8. ALL NEW UTILITIES ARE PROPOSED TO BE LOCATED UNDERGROUND.

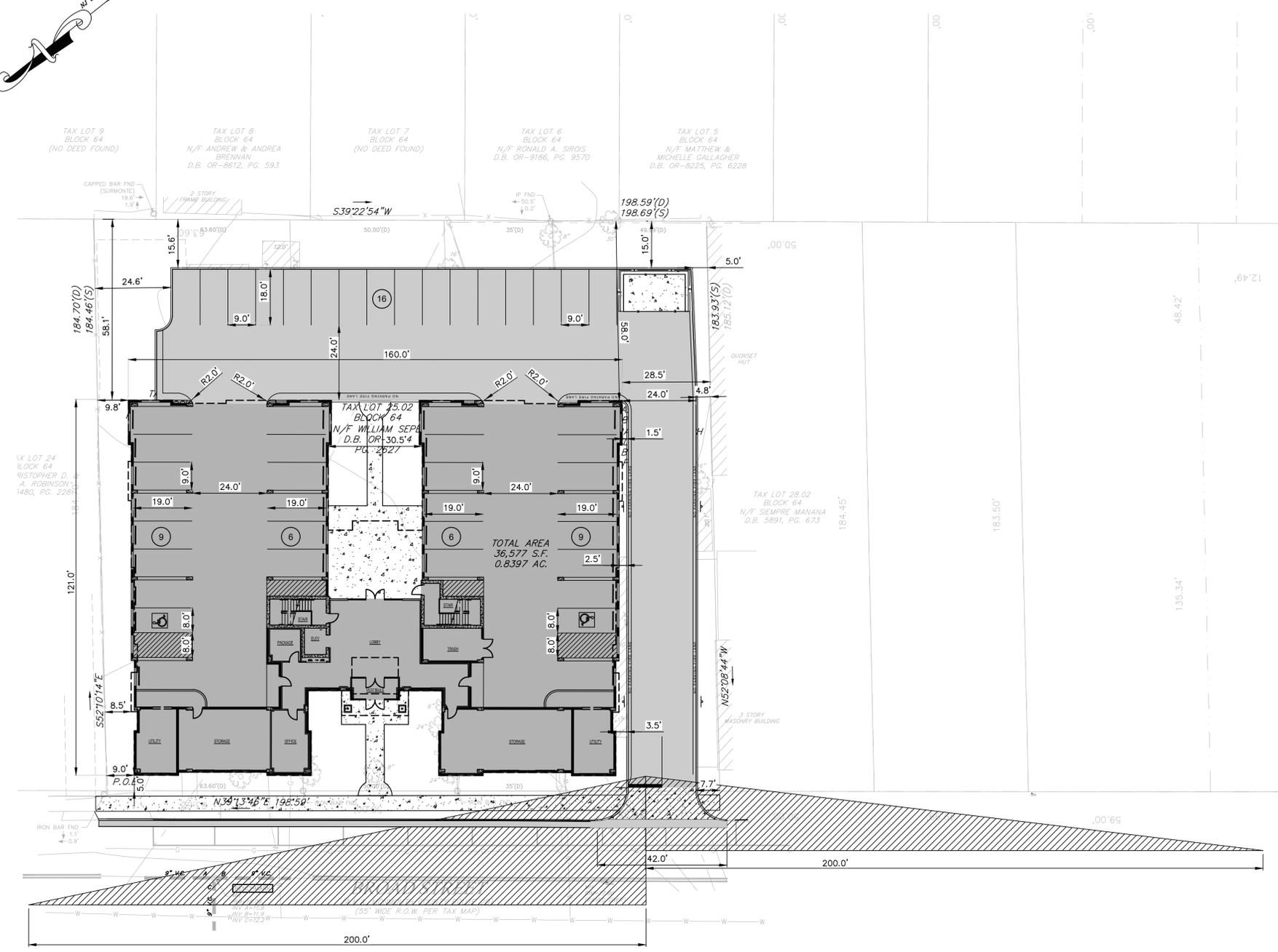
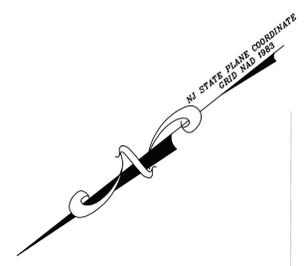
- LEGEND**
- PRINCIPAL & ACCESSORY STRUCTURES
 - NEW CONCRETE
 - FULL DEPTH PAVEMENT

SIGHT TRIANGLE EXHIBIT



				DESIGNED BY: PAS		ENGENUITY INFRASTRUCTURE 2 BRIDGE AVENUE, SUITE 323 RED BANK, NJ 07701 732.741.3176 ENGENUITYNJ.COM	SIGHT TRIANGLE EXHIBIT TAX BLOCK 64 LOTS 25.01, 25.02, 26 & 27 BOROUGH OF MANASQUAN MONMOUTH COUNTY, NEW JERSEY	OWNER / DEVELOPER / APPLICANT: BROAD STREET 34, LLC 126 MAIN STREET MANASQUAN, NJ 08736 PHONE: (732) 522-0197	JACLYN J. FLOR, P.E., P.P., C.M.E. CONSULTING ENGINEER LICENSED PROFESSIONAL ENGINEER STATE OF NJ LICENCE NO. 24GE045426 CERTIFICATE OF AUTHORIZATION 24GA28268000	PROJECT NO. SEPE-00020
				DRAWN BY: PAS						DRAWING
				SHEET CHK'D BY: JJF						EX-1
				CROSS CHK'D BY:						SHEET NO.
				APPROVED BY:	DATE	1 OF 1				
				DATE: MARCH 17, 2020						
REV. NO.	DATE	DRWN	CHKD	REMARKS						
1	7/7/20	PAS	JJF	REVISED PLANS AS PER BOARD ENGINEER'S COMMENTS						

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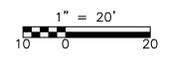
SIGHT TRIANGLE EXHIBIT

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LEGEND

- PRINCIPAL & ACCESSORY STRUCTURES
- NEW CONCRETE
- FULL DEPTH PAVEMENT



REV. NO.	DATE	DRWN	CHKD	REMARKS
1	7/7/20	PAS	JJF	REVISED PLANS AS PER BOARD ENGINEER'S COMMENTS

DESIGNED BY: PAS
 DRAWN BY: PAS
 SHEET CHK'D BY: JJF
 CROSS CHK'D BY:
 APPROVED BY:
 DATE: MARCH 17, 2020



ENGENUITY INFRASTRUCTURE
 2 BRIDGE AVENUE, SUITE 323
 RED BANK, NJ 07701
 732.741.3176
 ENGENUITYNJ.COM

SIGHT TRIANGLE EXHIBIT
 TAX BLOCK 64
 LOTS 25.01, 25.02, 26 & 27
 BOROUGH OF MANASQUAN
 MONMOUTH COUNTY, NEW JERSEY

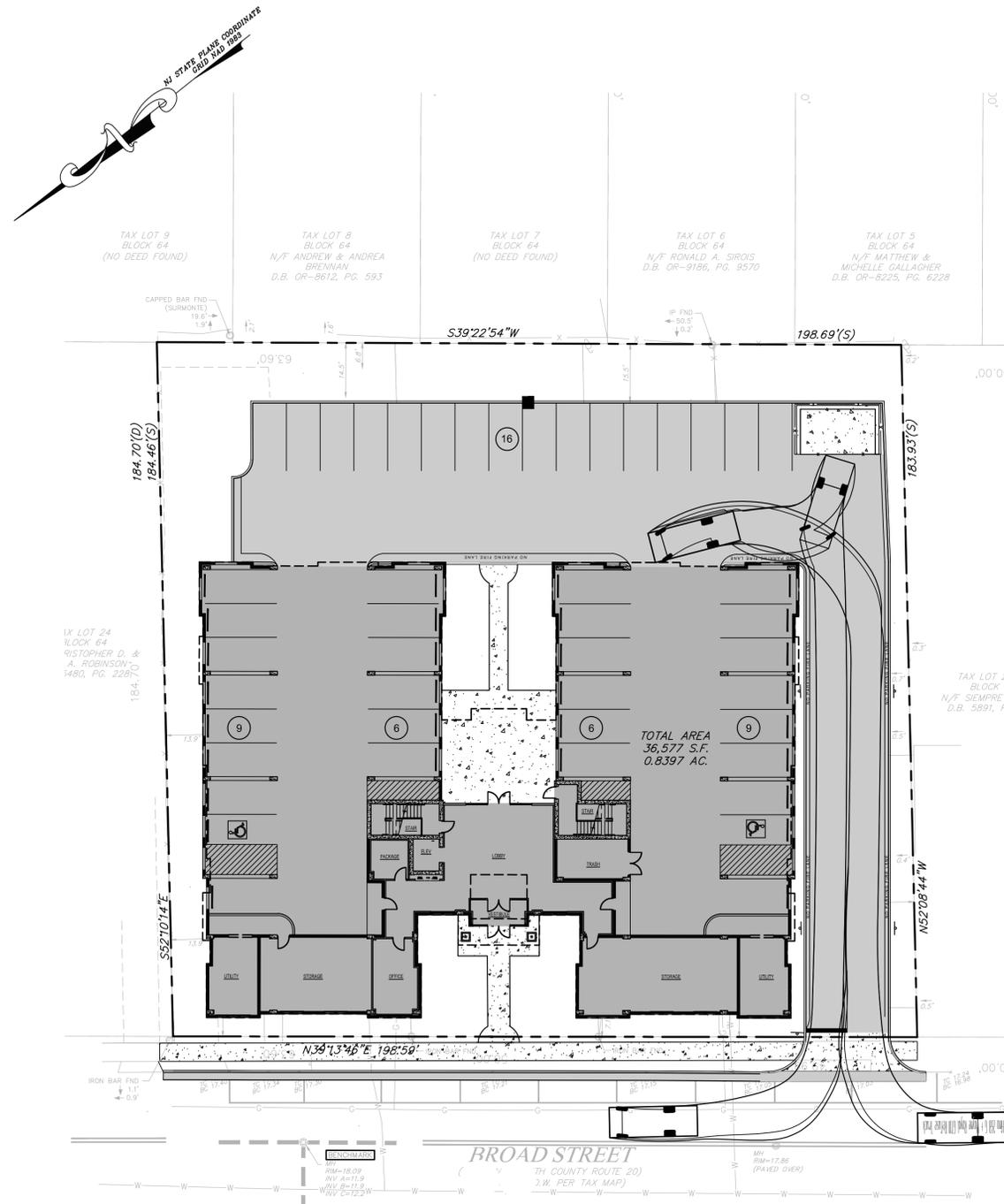
OWNER / DEVELOPER / APPLICANT:
BROAD STREET 34, LLC
 126 MAIN STREET
 MANASQUAN, NJ 08736
 PHONE: (732) 522-0197

JACLYN J. FLOR, P.E., P.P., C.M.E.
 CONSULTING ENGINEER

 LICENSED PROFESSIONAL ENGINEER
 STATE OF NJ LICENCE NO. 24GE045426
 CERTIFICATE OF AUTHORIZATION 24GA28268000
 DATE: 03/17/2020

PROJECT NO. SEPE-00020
 DRAWING EX-1
 SHEET NO. 1 OF 1

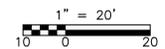
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GENERAL NOTE:

1. THIS TURNING TEMPLATE REPRESENTS A 23' - 5 3/4" LONG REAR LOADING REFUSE VEHICLE WHICH IS DETERMINED TO BE THE CRITICAL DESIGN VEHICLE FOR THIS SITE AND ALL OTHERS VEHICLES ENTERING WILL BE SMALLER.

TURNING TEMPLATE EXHIBIT-1



REV. NO.	DATE	DRWN	CHKD	REMARKS
1	7/7/20	PAS	JJF	REVISED PLANS AS PER BOARD ENGINEER'S COMMENTS

DESIGNED BY: PAS
 DRAWN BY: PAS
 SHEET CHK'D BY: JJF
 CROSS CHK'D BY:
 APPROVED BY:
 DATE: MARCH 17, 2020



ENGINEUTY INFRASTRUCTURE
 2 BRIDGE AVENUE, SUITE 323
 RED BANK, NJ 07701
 732.741.3176
 ENGINEUTY.NJ.COM

TURNING TEMPLATE EXHIBIT
 TAX BLOCK 64
 LOTS 25.01, 25.02, 26 & 27
 BOROUGH OF MANASQUAN
 MONMOUTH COUNTY, NEW JERSEY

OWNER / DEVELOPER / APPLICANT:
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JACLYN J. FLOR, P.E., P.P., C.M.E.
 CONSULTING ENGINEER

 LICENSED PROFESSIONAL ENGINEER
 STATE OF NJ LICENCE NO. 24GE045426
 CERTIFICATE OF AUTHORIZATION 24GA28268000
 DATE: 03/17/2020

PROJECT NO. SEPE-00020
 DRAWING EX-3
 SHEET NO. 1 OF 1

34, 36, 40 & 44 Broad Street, Manasquan, Monmouth County, NJ

Table 1 - Trip Generation Summary

CODE	LAND USE	AMOUNT	WEEKDAY						ADT
			AM PEAK HOUR			PM PEAK HOUR			
			IN	OUT	TOTAL	IN	OUT	TOTAL	
EXISTING SINGLE-FAMILY HOME TRIPS									
220	Multifamily Housing (Low-Rise)	14 units	2	7	9	7	4	11	65
712	Small Office Building	3,500 SF	6	1	7	3	6	9	57
TOTAL EXISTING SITE GENERATED TRIPS			7	8	16	10	10	19	122
PROPOSED SITE-GENERATED TRIPS									
220	Multifamily Housing (Low-Rise)	22 units	3	11	14	10	6	16	125
TOTAL PROPOSED CHANGE IN SITE-GENERATED TRIPS					(2)	(3)	4		
TOTAL PROPOSED SITE GENERATED TRIPS			3	11	14	10	6	16	125

Source: *Trip Generation, 10th Edition*, published by the Institute of Transportation Engineers (ITE)

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BROAD STREET
 (A.K.A. MONMOUTH COUNTY ROTE 20)
 (55' WIDE R.O.W PER TAX MAP)

EXHIBIT PLAN 1

REV. NO.	DATE	DRWN	CHKD	REMARKS

DESIGNED BY: PAS
 DRAWN BY: PAS
 SHEET CHK'D BY: JJF
 CROSS CHK'D BY:
 APPROVED BY:
 DATE: SEPTEMBER 16, 2020



ENGENUITY INFRASTRUCTURE
 2 BRIDGE AVENUE, SUITE 323
 RED BANK, NJ 07701
 732.741.3176
 ENGENUITYNJ.COM

EXHIBIT PLAN 1
 TAX BLOCK 64
 LOTS 25.01, 25.02, 26 & 27
 BOROUGH OF MANASQUAN
 MONMOUTH COUNTY, NEW JERSEY

OWNER / DEVELOPER / APPLICANT:
BROAD STREET 34, LLC
 128 MAIN STREET
 MANASQUAN, NJ 08736
 PHONE: (732) 522-0197

JACLYN J. FLOR, P.E., P.P., C.M.E.
 CONSULTING ENGINEER

 LICENSED PROFESSIONAL ENGINEER
 STATE OF NJ LICENCE NO. 24GE045426
 CERTIFICATE OF AUTHORIZATION 24GA28268000
 DATE: 09/16/2020

PROJECT NO. SEPE-00020
DRAWING EX-1
SHEET NO. 1 OF 2

34, 36, 40 & 44 Broad Street, Manasquan, Monmouth County, NJ

Table 1 - Trip Generation Summary

CODE	LAND USE	AMOUNT	WEEKDAY						ADT
			AM PEAK HOUR			PM PEAK HOUR			
			IN	OUT	TOTAL	IN	OUT	TOTAL	
EXISTING SINGLE-FAMILY HOME TRIPS									
220	Multifamily Housing (Low-Rise)	14 units	2	7	9	7	4	11	65
712	Small Office Building	3,500 SF	6	1	7	3	6	9	57
TOTAL EXISTING SITE GENERATED TRIPS			7	8	16	10	10	19	122
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220	Multifamily Housing (Low-Rise)	22 units	3	11	14	10	6	16	125
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Source: *Trip Generation, 10th Edition*, published by the Institute of Transportation Engineers (ITE)

KLEIN

TRAFFIC CONSULTING, LLC

156 Walker Road
West Orange, NJ 07052
973-985-3464
leekleintraffic@gmail.com

June 18, 2019

REVISED: January 22, 2020 – typo and old references

Mr. Brad Sepe
Broad Street 34, LLC
27 Colby Avenue
Manasquan, NJ 08736

VIA EMAIL: bradcp7@gmail.com

**Re: Professional Traffic Engineering and Parking Evaluation
Proposed 22 Apartment Units with 45 On-Site Parking Spaces
34, 36, 40 & 44 Broad Street, Manasquan Borough, Monmouth County, NJ**

Dear Mr. Sepe:

INTRODUCTION

The purpose of this Traffic Engineering Evaluation is to assess the traffic impacts associated with the development of the subject property known as Block 64, Lots 25.01, 25.02, 26 & 27 located at 34, 36, 40 & 44 Broad Street in the Borough of Manasquan, Monmouth County. The site is occupied by three homes. There is a full-movement driveway providing vehicular access to Broad Street.

It is proposed to construct three stories with 22 apartments over ground level parking of 45 parking spaces. Access to the site would continue to be provided by one full-movement driveway on Broad Street.

EXISTING CONDITIONS

The site, located at 34, 36, 40 & 44 Broad Street, is situated Broad Street with Main Street. The site is occupied by a mix of residential and commercial uses. The surrounding properties generally consist of a mix of commercial and residential uses. The adjacent roadways serving the site are described as follows:

Broad Street is an urban major collector roadway, under the jurisdiction of Monmouth County. There are sidewalks on both sides of the street and parking is permitted on both sides of the street in the vicinity of the subject site. Broad Street provides one travel lane in each direction, with an exclusive left turn lane and a right turn lane at the intersection with Main Street. The posted speed limit is 30 miles per hour (MPH).

Mass Transportation Options

The subject site is located 7-minute/0.4-mile walk from the Manasquan NJ Transit Train Station of the North Jersey Coast Line, which stops frequently throughout the AM and PM commuter hours and provides access to and from Newark Penn Station, New York Penn Station, and Hoboken. With frequent service during the AM and PM peak commuting hours, mass transportation service is an attractive alternative to commuting via automobile or owning an automobile.

Traffic Observations

We visited the site on Thursday, August 2, 2018, and on Wednesday, June 12, 2019 between 5:00 PM and 6:00 PM to observe the PM peak period traffic conditions and operations of the intersection of Broad Street with Main Street. We observed traffic to flow freely during this time period. However, traffic would queue on the southbound approach of Broad Street from the unsignalized intersection of Main Street. This occurred several times between 5:15 PM and 5:45 PM. Traffic would be considered “moderate” to “light” on Broad Street.

DEVELOPMENT PROPOSAL

The proposed development consists constructing 22 multifamily housing (low-rise) units in two floors over ground level parking with 45 parking spaces including 2 ADA parking spaces. One full-movement driveway is proposed on Broad Street.

TRIP GENERATION

According to the *Trip Generation Manual, 10th Edition* published by the Institute of Transportation Engineers, Multifamily Housing (Low-Rise) includes apartments, townhouses, and condominiums located within the same building with at least three other dwelling units and that have one or two levels (floors). Table 1 -Trip Generation Summary, summarizes the trip generation for the proposed 22 apartment units in two floors over one level of parking. As shown in Table 1, the proposed 22-unit apartment building would generate 14 vehicle trips during the AM peak hour, and 16 vehicle trips during the PM peak hour.

Table 1 – Trip Generation Summary, attached shows the trip generation for the existing three homes as well as the proposed apartments. Based on the *Trip Generation, 10th Edition*, during the AM peak hour, the existing three homes would generate 4 trips during the AM peak hour, and 4 trips during the PM peak hour. The Trip Generation of the proposed 22 multifamily housing (low-rise) units would generate 14 trips during the AM peak hour and 16 trips during the PM peak hour. The proposed condition would not generate a significant increase in trips than the existing use on the subject site. Also, it should be noted that these trip generation values would be considered conservative. Since the site is situated so close to the Manasquan NJ Transit Rail station, many tenants may choose to live at 34, 36, 40 & 44 Broad Street to take advantage of the NJ Transit Rail service and walk to the train station rather than drive to work.

According to *Transportation Impact Analysis for Site Development*, published by the Institute of Transportation Engineers (ITE), an increase of less than 100 vehicle trips would not change the level of service of the local street network nor appreciably increase the volume-to-capacity ratio of an intersection approach. Also, NJDOT Access Management Code considers a significant increase in trips greater than 100 peak hour trips AND greater than a 10 percent increase in previously anticipated daily trips. The reopening of the existing single-family home would not generate a significant increase in trips than the proposed 22 multifamily housing (low-rise) units. Therefore, the redevelopment of the subject property into 22 multifamily housing (low-rise) units is not anticipated to significantly impact the operations of Broad Street.

SITE PLAN REVIEW

The site is proposed with approximately 9-foot wide by 18-foot long parking spaces. The drive aisle is adequate at 24-feet wide to provide access into and out of each parking space. The driveways are designed to accommodate ease of maneuvering for appropriate vehicle types. Twenty-two of the 45 parking spaces will be assigned to the tenants; therefore, each tenant will become accustomed to maneuvering into and out of their assigned parking space. The remaining 23 parking spaces will be available for those with a second vehicle or visitors.

The project is proposed with 45 parking spaces, where 44 parking spaces or 2.0 parking spaces per unit are currently permitted. The proposed site provides 45 parking spaces, or 2.05 parking spaces per apartment unit. Due to the proximity of Manasquan NJ Transit Rail station, as well as shopping, dining and entertainment options within the immediate area, it is anticipated that some of the potential residents of this proposed apartment building would not own a vehicle or at least would not own a second vehicle and take advantage of the commuting options.

Parking Generation, 5th Edition, published by ITE, provides data supporting a lower parking demand for Multifamily Housing (Low-Rise) in a General Urban/Suburban setting/location within one-half mile of rail transit service. The average peak parking demand is 1.21 parked vehicles per unit or 27 parked cars. The ITE average peak period parking demand data shows that the proposed parking supply of 2.05 parking spaces per unit would exceed the average peak parking demand for Multifamily Housing (Low-Rise). With a proposed parking supply of 2.05 parking spaces per dwelling unit, the project would exceed the average peak parking demand of a Multifamily Housing (Low-Rise) within one-half mile of rail transit in a General Urban/Suburban setting/location of 1.07 parked vehicles per dwelling unit.

The two on-site ADA parking spaces are designed to be accessible.

Adequate sight distances are provided from the existing exit driveway on Broad Street. The posted speed limit near 34, 36, 40 & 44 Broad Street is 30 MPH; therefore, the design speed of Broad Street is 35 miles per hour, thus resulting in a recommended stopping sight distance of 250 feet, in accordance with A Policy on Geometric Design of Highways and Streets (AASHTO). This required sight distance is exceeded on Broad Street.

CONCLUSIONS

Based upon our trip generation evaluation, it is our professional opinion that the proposed 22 multifamily housing (low-rise) units would have no significant impact on traffic conditions during the AM and PM peak commuter traffic hours. It is projected that the proposed 22 multifamily housing (low-rise) units would generate less than a significant amount of traffic according to industry standards.

The design of the site will more than adequately serve the needs of the project's residents and visitors. The proposed parking supply of 45 parking spaces exceeds the permitted parking supply of 44 parking spaces. The site plan has been designed with adequate parking and circulation for the residents and visitors of the project. The proposed parking supply would be sufficient and would not have a negative impact on the surrounding neighborhood.

In conclusion, the development of this project will have a minimal impact on the traffic operations of area roadways and intersections.

The foregoing is a true representation of my findings.

Very truly yours,



Lee D. Klein, P.E., PTOE
NJPE 24GE03710400
PTOE Certification 1627

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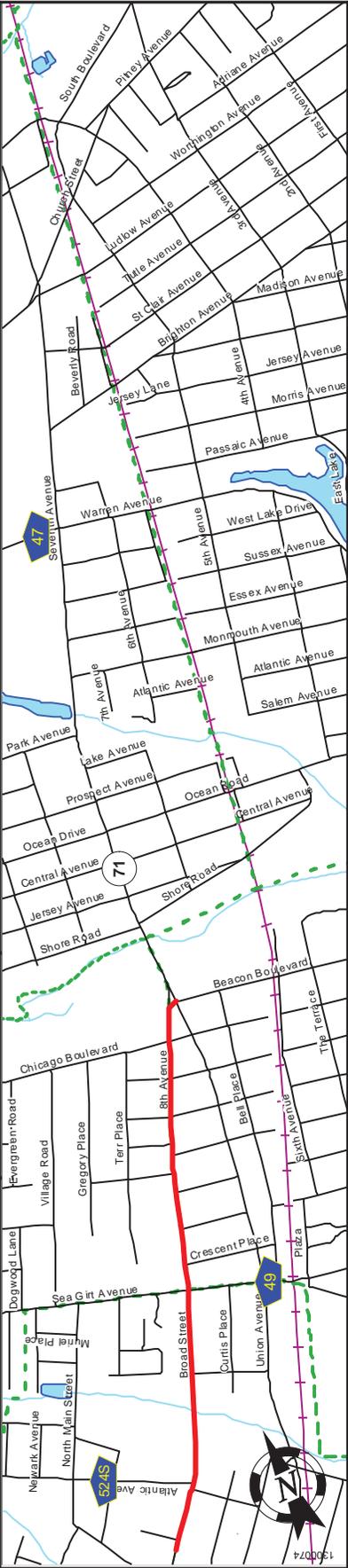
34, 36, 40 & 44 Broad Street, Manasquan, Monmouth County, NJ
Table 1 - Trip Generation Summary

CODE	LAND USE	AMOUNT	WEEKDAY				TOTAL	ADT
			AM PEAK HOUR		PM PEAK HOUR			
			IN	OUT	IN	OUT		
EXISTING SINGLE-FAMILY HOME TRIPS								
210	Single Family Detached Housing	3 units	2	2	3	2	5	41
TOTAL EXISTING SITE GENERATED TRIPS			2	2	3	2	5	41
PROPOSED SITE-GENERATED TRIPS								
220	Multifamily Housing (Low-Rise)	22 units	3	11	10	6	16	125
TOTAL PROPOSED CHANGE IN SITE-GENERATED TRIPS			10		11			
TOTAL PROPOSED SITE GENERATED TRIPS			3	11	10	6	16	125

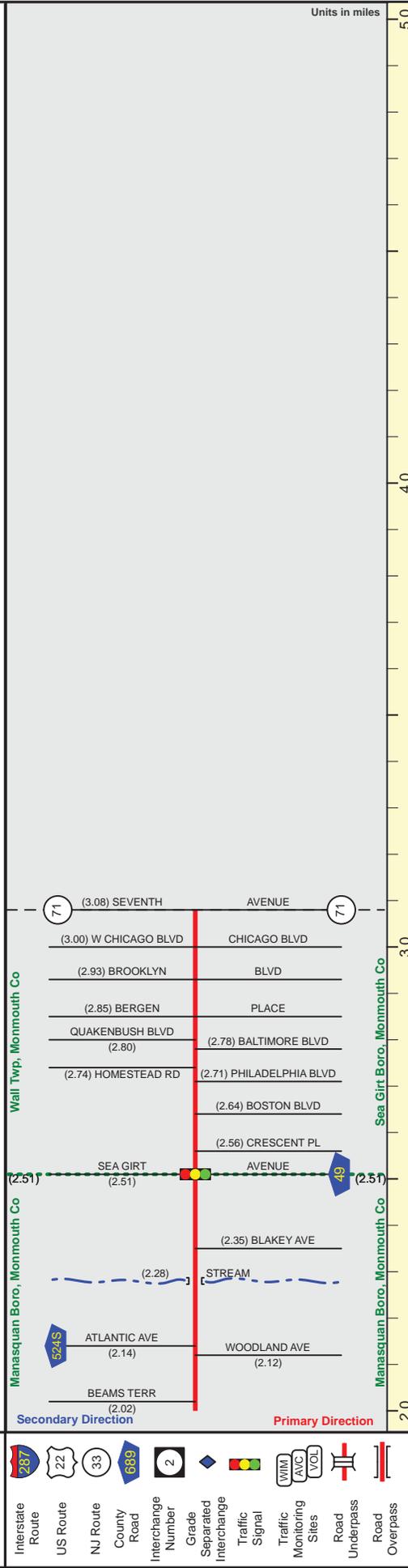
Source: Trip Generation, 10th Edition, published by the Institute of Transportation Engineers (ITE)

Mile Posts: 2.000 - 3.080

MONMOUTH COUNTY 20 (South to North)



Pavement	Shoulder	Number of Lanes	Speed Limit	Street Name



Street Name	Broad Street	8th Avenue
Jurisdiction	County	County
Functional Class	Urban Major Collector	Urban Major Collector
Federal Aid - NHS Sy	STP	STP
Control Section		
Speed Limit	30	35
Number of Lanes	2	None
Med. Type	0	30
Med. Width	36	0
Pavement		
Shoulder		
Traffic Volume	5,282 (2012)	
Traffic Sta. ID	121350	
Structure No.		
Enlarged Views		

Date last inventoried: July 2011

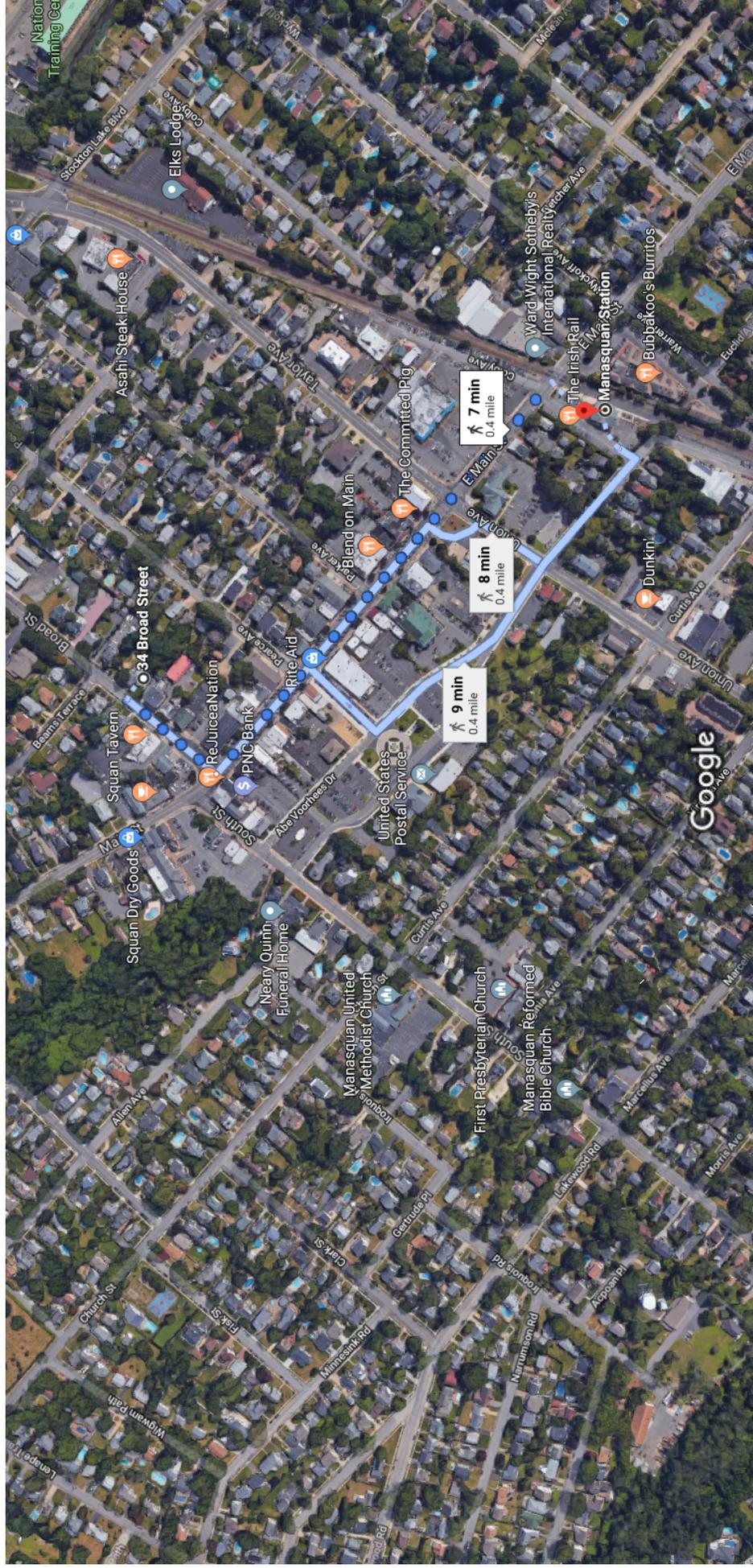
SRI = 13000020



34 Broad Street, Manasquan, NJ to Manasquan Station

Walk 0.4 mile, 7 min

Walking Time and Distance



Imagery ©2019 Google, Map data ©2019 Google 200 ft



via Main St

7 min
0.4 mile



via Main St and Euclid Ave

8 min
0.4 mile



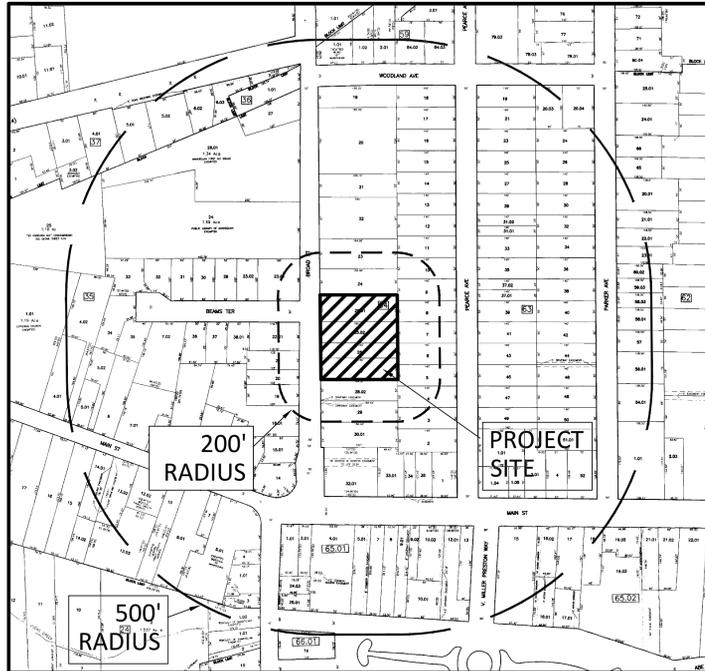
via Abe Voorhees Dr

9 min

0.4 mile

All routes are mostly flat





KEY MAP
SHEETS 3, 5, 11 & 12
SCALE 1"=200'

200' PROPERTY OWNERS LIST:

Block	Lot	Owner Complete Name	Property Address	Mailing Street	Mailing City, State, Zip Code
35	19	BOSSONE, DOMINIC J	25 BROAD ST	713 HOWELL DR	BRIELLE, NJ 087301429
35	20	HOVERTER, TERENCE F & CHRISTINA M	27 BROAD ST	27 BROAD ST	MANASQUAN, NJ 087362906
35	21	STUDICK, ROSEMARY & O'TOOLE, DARREN	35-35-1/2 BROAD ST	1312 ATLANTIC AVE	MANASQUAN, NJ 08736
35	22.01	PARELL, ANNA MARIE	39 BROAD ST	39 BROAD ST	MANASQUAN, NJ 087362906
35	23.01	JAWIDZIK, WALTER&PIGNATELLI, LORRAINE	9-51 BROAD ST	49 BROAD ST	MANASQUAN, NJ 08736
35	23.02	ZUPKO, DAVID A	10 BEAMS TER	10 BEAMS TER	MANASQUAN, NJ 08736
35	24	PUBLIC LIBRARY OF MANASQUAN	55 BROAD ST	55 BROAD ST	MANASQUAN, NJ 087362930
63	38.01	TURNBACH, JEROME J & AIMEE R	7 BEAMS TER	7 BEAMS TER	MANASQUAN, NJ 087362905
63	35	BRASH, PHILIP & LAURA	46 PEARCE AVE	46 PEARCE AVE	MANASQUAN, NJ 087363009
63	37.01	PLACE, HAROLD D III & LISA M	38 PEARCE AVE	38 PEARCE AVE	MANASQUAN, NJ 087363009
63	41	DARA TA, JANNE	34 PEARCE AVE	34 PEARCE AVE	MANASQUAN, NJ 087363009
64	43	BATE, WILLIAM J & DONNA W	30 PEARCE AVE	30 PEARCE AVE	MANASQUAN, NJ 087363009
64	4	LAVALLA, JAMES J JR	21 PEARCE AVE	21 PEARCE AVE	MANASQUAN, NJ 08736
64	5	GALLAGHER, MATTHEW & MICHELLE	25 PEARCE AVE	25 PEARCE AVE	MANASQUAN, NJ 087363008
64	6	BROWN, DUSTIN C & JESSICA L	29 PEARCE AVE	29 PEARCE AVE	MANASQUAN, NJ 087363008
64	7	SERRATELLI, ARCHIBALD A JR & JOAN D	33 PEARCE AVE	33 PEARCE AVE	MANASQUAN, NJ 087363008
64	8	BRENNAN, ANDREW & ANDREA	37-37-1/2 PEARCE AVE	37 PEARCE AVE	MANASQUAN, NJ 087363008
64	9	WALTSK, ANNE C	39 PEARCE AVE	39 PEARCE AVE	MANASQUAN, NJ 087363008
64	10	ENERSON, DOROTHY	43 PEARCE AVE	43 PEARCE AVE	MANASQUAN, NJ 087363008
64	11	WHITE, JOHN F JR & DIANA M	49 PEARCE AVE	49 PEARCE AVE	MANASQUAN, NJ 087363008
64	12	CARTER, JOANNE M	51 PEARCE AVE	51 PEARCE AVE	MANASQUAN, NJ 087363008
64	13	GUNSCH, THOMAS H & JANET R	57 PEARCE AVE	57 PEARCE AVE	MANASQUAN, NJ 087363008
64	22	FOUR S ASSOCIATES	58 BROAD ST	84 BROAD ST	MANASQUAN, NJ 087362907
64	23	54 BROAD ST, LLC C/O SHEKLIAN, MARK	54 BROAD ST	11 DRAWBRIDGE ST	MANASQUAN, NJ 087362943
64	24	ROBINSON, CHRISTOPHER D & TARA A	50-50-1/2 BROAD ST	50 BROAD ST	MANASQUAN, NJ 087362907
64	25.01	BRADENTON BCH DEVELOPMENT C/O SEPE	44 BROAD ST	12-1 OSBORN AVE	MANASQUAN, NJ 087362942
64	25.02	SEPE, WILLIAM B	40 BROAD ST	44 BROAD ST	MANASQUAN, NJ 087362907
64	26	SEPE, WILLIAM R	36 BROAD ST	12-1 OSBORN AVE	MANASQUAN, NJ 087362942
64	27	BRADENTON BEACH DEVELOPMENT, LLC	34 BROAD ST	126 MAIN ST	MANASQUAN, NJ 087363558
64	28.02	SIEMPRE MANANA LLC C/O LIBRIZZI	30 BROAD ST	276 E VIRGINIA AVE	MANASQUAN, NJ 087363618
64	29	24-26 BROAD STREET - MANASQUAN, LLC	24-26 BROAD ST	2135 BRIDGE AVE	POINT PLEASANT, NJ 08742

200' UTILITIES OWNERS LIST:

Jersey Central Power & Light Co Customer Service PO Box 16001 Reading, PA 19612-6001	NJ Natural Gas Company 1415 Wyckoff Rd PO Box Wall, NJ 1378 07715-0001	NJ American Water Company Attn: Corporate Secretary 131 Woodcrest Rd PO Box 5079 Cherry Hill, 5079 NJ 08034-5079	State of New Jersey Attn: Commissioner of Transportation Department of Transportation 1035 Parkway Ave Trenton, NJ Ave 08625-2309
Verizon PO Box 4833 Trenton, NJ 4833 08650-4833	Cablevision 1111 Stewart Ave. Bethpage, NY Ave 11714-3533	Monmouth County Highway Dep't. 250 Center St. Freehold, NJ St 07728-2465	

APPROVED AS A MAJOR SITE PLAN BY
THE MANASQUAN BOROUGH PLANNING BOARD
ON _____

CHAIRPERSON _____ DATE _____

ATTEST:

SECRETARY _____ DATE _____

I HAVE REVIEWED THIS SITE PLAN AND CERTIFY THAT IT MEETS ALL
CODES AND ORDINANCES UNDER MY JURISDICTION.

BOROUGH ENGINEER _____ DATE _____

I HEREBY CERTIFY THAT ALL THE REQUIRED IMPROVEMENTS HAVE
BEEN INSTALLED OR A POND POSTED IN COMPLIANCE WITH ALL
APPLICABLE CODES AND ORDINANCES

BOROUGH ENGINEER _____ DATE _____

BOROUGH CLERK _____ DATE _____

BUILDING PERMIT ISSUED _____ DATE _____

PROPOSED BUILDING FOR: BROAD STREET 34, LLC

34, 36, 40 & 44 BROAD STREET, MANASQUAN, NJ

TAX MAP SHEET 11 DATED JAN. 2006

BLOCK 64 LOTS 25.01, 25.02, 26 & 27

ZONE AR-1

MAJOR SITE PLAN

OCTOBER 25, 2019

OWNER/APPLICANT/DEVELOPER:

BROAD STREET 34, LLC
126 MAIN STREET
MANASQUAN, NJ 08736
PHONE:(732) 522-0197

ENGINEER:

ENGENUITY INFRASTRUCTURE, LLC
JACLYN J. FLOR, PE, PP, CME
NJ PE# 24GE04542600
NJ PP# 33LI00592000
2 BRIDGE AVENUE, SUITE 323
RED BANK, NJ 07701
PHONE: (732)741-3176
JFLOR@ENGENUITYNJ.COM

ATTORNEY:

GIORDANO, HALLERAN & CIESLA
ATTORNEYS AT LAW
JOHN A. SARTO, ESQ.
125 HALF MILE ROAD
SUITE 300
RED BANK, NJ 07701-6777
PHONE: (732) 219-5496

GENERAL NOTES:

- ALL WORK TO CONFORM WITH THE LATEST EDITION OF THE FOLLOWING:
-NJDOT SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
-MONMOUTH COUNTY DESIGN STANDARDS
-MUNICIPAL DESIGN STANDARDS
-CURRENT MANUFACTURERS SPECIFICATIONS, STANDARDS, AND REQUIREMENTS
-CURRENT, PREVAILING UTILITY COMPANY OR AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS
- ALL BARRIER FREE CONSTRUCTION TO BE IN ACCORDANCE WITH THE NJ UNIFORM CONSTRUCTION CODE, SUBCHAPTER 7: BARRIER FREE SUBCODE & ADA REQUIREMENTS AS NECESSARY.
- CONTRACTOR IS RESPONSIBLE FOR ALL WORKER SAFETY, TRAINING, AND SAFETY DEVICE USAGE FOR AND DURING THE CONSTRUCTION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.
- THE CONTRACTOR IS DESIGNATED AS RESPONSIBLE PARTY DURING CONSTRUCTION OF THE IMPROVEMENTS HEREON. AS SUCH, CONTRACTOR WILL PROVIDE ADEQUATE SAFETY TRAINING, EQUIPMENT AND OVERSIGHT.
- CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND APPROVALS FOR CONSTRUCTION OF THE DEPICTED SITE IMPROVEMENTS.
- ALL DISTURBED AREAS ON SITE TO BE STABILIZED IN ACCORDANCE WITH THE FREEHOLD SOIL CONSERVATION DISTRICT STANDARDS.
- ALL AREAS NOT COVERED BY IMPERVIOUS SURFACE SHALL BE SEEDED OR OTHERWISE STABILIZED IN ACCORDANCE WITH SOIL EROSION CONTROL SPECIFICATIONS SET FORTH IN THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, 7TH EDITION, REVISED JULY 2017.
- THE NEW JERSEY CALL SYSTEM SHOULD BE CONTACTED PRIOR TO EXCAVATION ON-SITE OR WITHIN R.O.W. (800) 272-1000
- ALL UTILITY CONNECTIONS AND RELOCATIONS ARE SHOWN SCHEMATICALLY. THE CONTRACTOR SHALL CONTACT AND COORDINATE WITH EACH UTILITY COMPANY TO PROVIDE THE MOST APPROPRIATE LOCATION FOR UTILITY CONNECTIONS AND/OR RELOCATIONS.
- EXISTING SITE AND UTILITY INFORMATION SHOWN ON THIS PLAN HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS.
- ALL TRAFFIC SIGNS AND STRIPING SHALL CONFORM WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ANY DAMAGE TO EXISTING STRUCTURES AS A RESULT OF THIS DEVELOPMENT, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR.
- CONCRETE SHALL BE NJDOT CLASS "B" UNLESS OTHERWISE STATED HEREON OR WITHIN THE CONSTRUCTION DETAILS.
- ALL IMPROVEMENTS SHOWN HEREON "TO BE REMOVED" SHALL BE DISPOSED OF IN A MANNER NOT CONTRARY TO LOCAL OR STATE ORDINANCES.
- CONTRACTOR TO NOTIFY THE UNDERSIGNED PROFESSIONAL IF FIELD CONDITIONS VARY FROM THAT WHICH IS SHOWN HEREON.
- THIS PLAN SET HAS BEEN PREPARED FOR MUNICIPAL AND AGENCY APPROVALS. THIS PLAN NOT TO BE UTILIZED FOR CONSTRUCTION UNTIL MARKED "FOR CONSTRUCTION".
- SURVEY INFORMATION SHOWN HEREON TAKEN FROM A PLAN ENTITLED "BOUNDARY & TOPOGRAPHICAL, TAX LOTS 25.01, 25.02, 26 & 27" PREPARED BY DPK CONSULTING DATED AUGUST 9, 2018.
- EXISTING UTILITY CONNECTIONS TO BE UTILIZED WHERE FEASIBLE & APPROVED BY UTILITY AUTHORITY.
- ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT A.D.A. STANDARDS, AS APPLICABLE.
- ALL CURB, SIDEWALK AND PAVEMENT SHALL BE RESTORED TO THE SATISFACTION OF THE BOARD'S ENGINEER.

PLAN INDEX

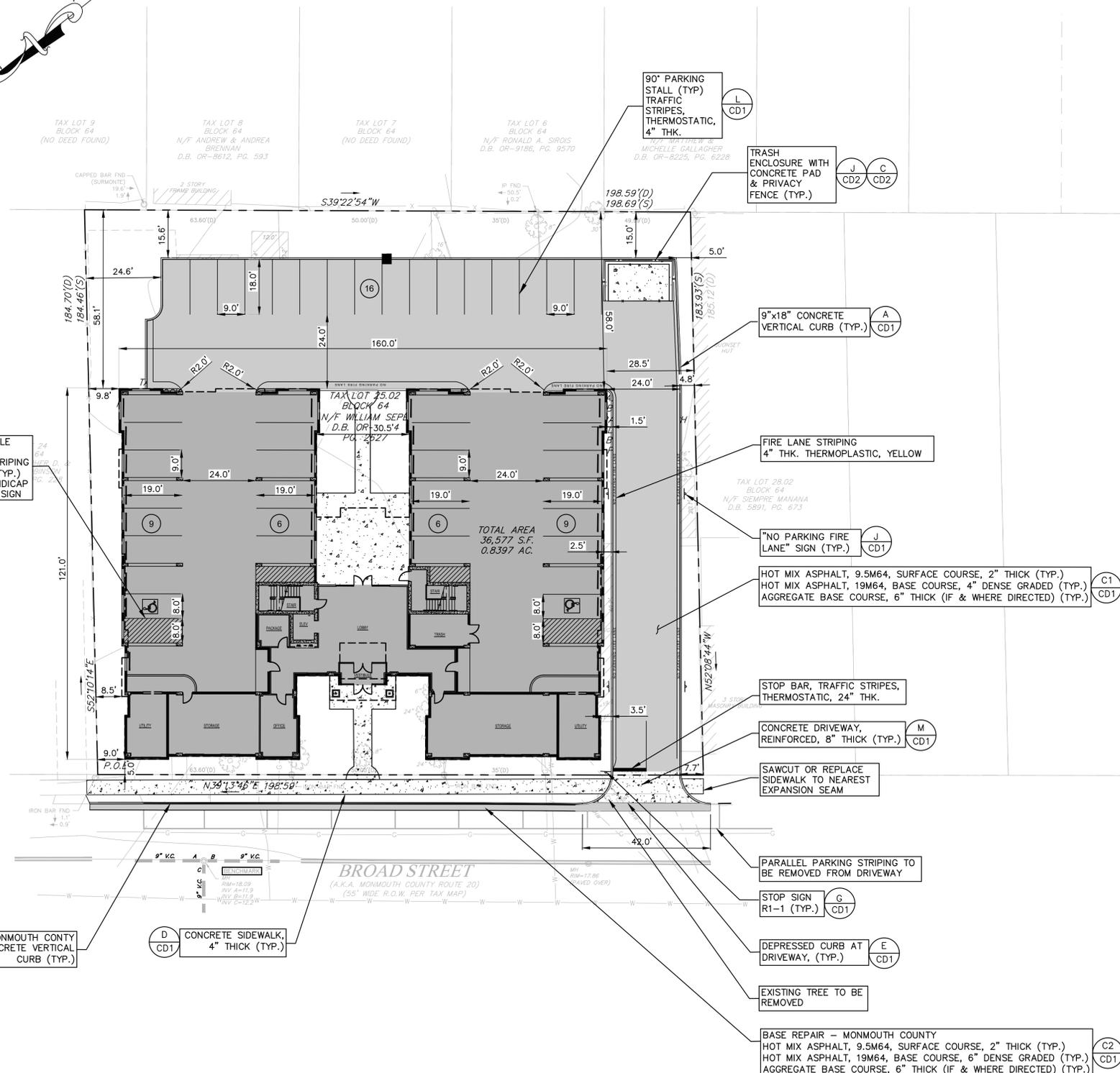
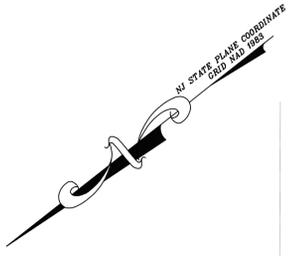
1 OF 10 T-1
2 OF 10 CP-1
3 OF 10 GR/SE-1

4 OF 10 LS-1
5 OF 10 LI-1
6 OF 10 CD-1
7 OF 10 CD-2
8 OF 10 CD-3
9 OF 10 SESC-1
10 OF 10 SESC-2

TITLE SHEET
SITE PLAN
GRADING PLAN / SOIL EROSION AND SEDIMENT CONTROL PLAN
LANDSCAPE PLAN
LIGHTING PLAN
CONSTRUCTION DETAILS
CONSTRUCTION DETAILS
CONSTRUCTION DETAILS
SOIL EROSION AND SEDIMENT CONTROL NOTES
SOIL EROSION AND SEDIMENT CONTROL DETAILS

PROJECT NO. SEPE-00020
DRAWING T-1
SHEET NO. 1 OF 10

ENGINEUTY INFRASTRUCTURE AND ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF ENGINEUTY INFRASTRUCTURE.



GENERAL NOTES:

1. SURVEY INFORMATION SHOWN HEREON BASED ON A PLAN ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY, TAX LOTS 25.01, 25.02, 26, & 27" PREPARED BY DPK CONSULTING DATED AUGUST 9, 2018
2. ENGINEUTY INFRASTRUCTURE MAKES NO GUARANTEES THAT THE UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. ENGINEUTY INFRASTRUCTURE FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ENGINEUTY INFRASTRUCTURE HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES IN THE FIELD PRIOR TO EXCAVATION. THE CONTRACTOR SHALL ALSO BE REQUIRED TO CALL FOR A MARK-OUT PRIOR TO ANY WORK.
3. PREMISES ARE COMMONLY KNOWN AS 34-44 BROAD STREET, MANASQUAN BOROUGH, MONMOUTH COUNTY, NEW JERSEY.
4. PREMISES ARE ALSO KNOWN AS BLOCK 64, LOTS 25.01, 25.02, 26, AND 27 AS SHOWN ON THE OFFICIAL TAX MAPS OF THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY.
5. ALL PROPOSED IMPROVEMENTS SHALL BE A.D.A. COMPLIANT, WHERE APPLICABLE.
6. IF THIS DOCUMENT DOES NOT CONTAIN A RAISED SEAL OF THE UNDERSIGNED PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT.
7. THE LAYOUT AND DESIGN ARE SUBJECT TO FURTHER MODIFICATION TO COMPLY WITH APPROVALS FROM AGENCIES HAVING JURISDICTION OVER THE SITE.
8. ALL NEW UTILITIES ARE PROPOSED TO BE LOCATED UNDERGROUND.

LEGEND

- PRINCIPAL & ACCESSORY STRUCTURES
- NEW CONCRETE
- FULL DEPTH PAVEMENT

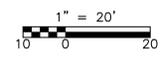
ZONE AR-1 (AFFORDABLE HOUSING)

REQUIREMENT	REQUIRED	PROPOSED	VARIANCE
MINIMUM LOT SIZE	36,000 sf	36,577 sf	
MINIMUM LOT FRONTAGE	190'	198.5'	
MINIMUM LOT DEPTHS	180'	183.9'	
MINIMUM FRONT YARD SETBACK	5'	5'	
MINIMUM SIDE YARD SETBACK (ONE)	6'	8.5'	
MINIMUM SIDE YARD SETBACK (BOTH)	20'	37.0'	
MINIMUM REAR YARD SETBACK	50'	58'	
MAXIMUM BUILDING HEIGHT - FEET	40'	40'	
MAXIMUM BUILDING HEIGHT - STORIES	3 1/2-Story	3 1/2-Story	
MAXIMUM BUILDING COVERAGE	50%	44%	
MAXIMUM FAR	1.5	1.35	
MAXIMUM LOT COVERAGE	80%	75%	
MAXIMUM BUILDING WIDTH	160'	160'	
MINIMUM PARKING SETBACK (SIDE)	5'	24.6'	
MINIMUM PARKING SETBACK (REAR)	15'	15'	
MINIMUM DRIVE AISLE SETBACK (SIDE)	4'	4.8'	
MINIMUM PARKING SPACES (RATIO)	2.0/unit	2.09/unit	
MINIMUM PARKING SPACES (NUMBER)	45	46	

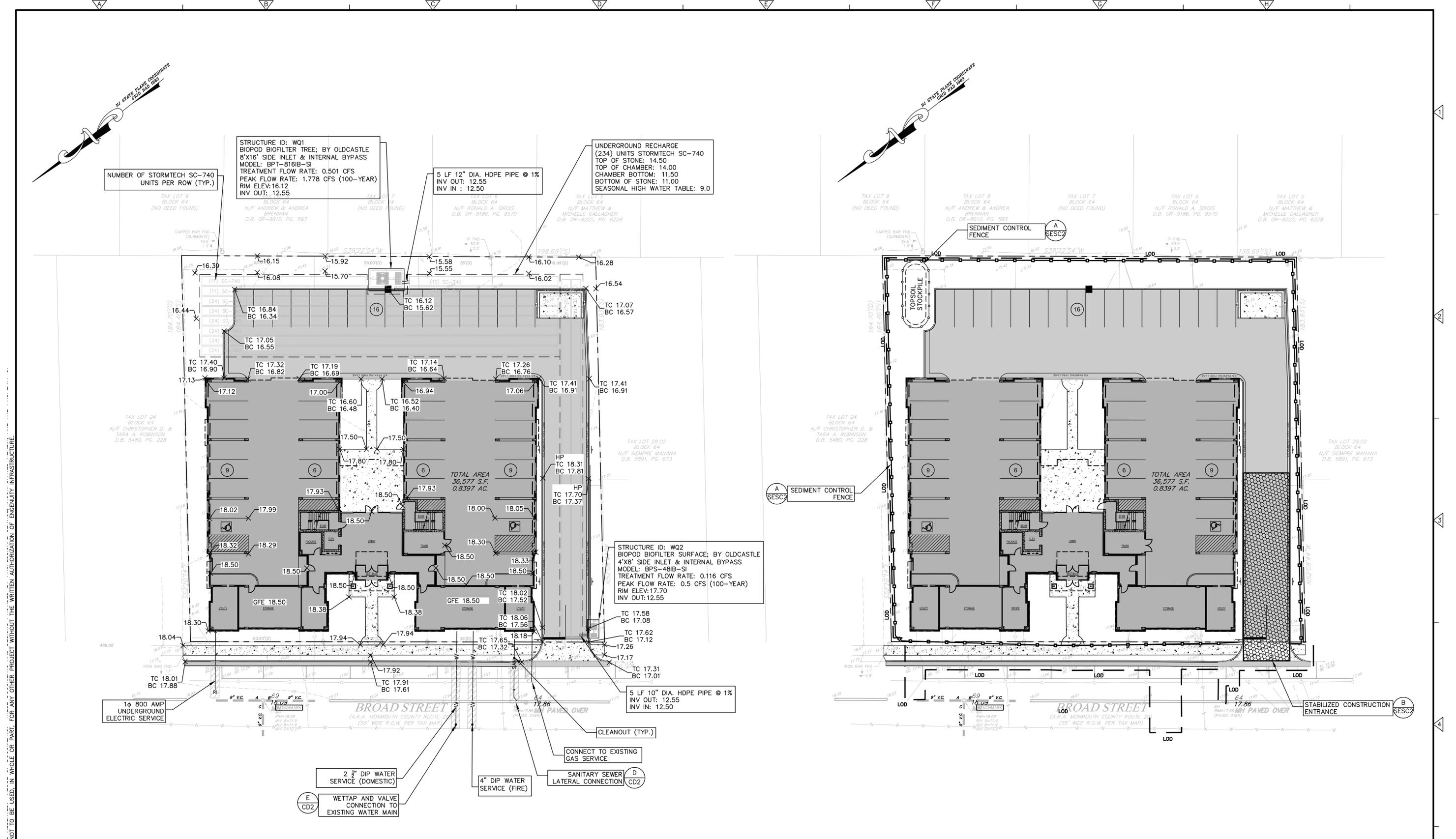
RESIDENTIAL SITE IMPROVEMENT STANDARDS OFF-STREET PARKING SUMMARY

CATAGORY	PARKING REQUIREMENT	PARKING CALCULATION	TOTAL
Residential, 2-Bedroom	2.0 Spaces per Unit	14 Units x 2.0 =	28.0
Residential, 3-Bedroom	2.1 Spaces per Unit	8 Units x 2.1 =	16.8
			44.8
Total Off-Street Parking Required =			45

SITE PLAN



<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 5%;">REV. NO.</td> <td style="width: 10%;">DATE</td> <td style="width: 10%;">DRWN</td> <td style="width: 10%;">CHKD</td> <td style="width: 60%;">REMARKS</td> </tr> <tr> <td>1</td> <td>7/7/20</td> <td>PAS</td> <td>JJF</td> <td>REVISED PLANS AS PER BOARD ENGINEER'S COMMENTS</td> </tr> </table>	REV. NO.	DATE	DRWN	CHKD	REMARKS	1	7/7/20	PAS	JJF	REVISED PLANS AS PER BOARD ENGINEER'S COMMENTS	<p>DESIGNED BY: PAS DRAWN BY: PAS SHEET CHK'D BY: JJF CROSS CHK'D BY: APPROVED BY: DATE: OCTOBER 25, 2019</p>	<p>ENGINEUTY INFRASTRUCTURE</p>	<p>ENGINEUTY INFRASTRUCTURE 2 BRIDGE AVENUE, SUITE 323 RED BANK, NJ 07701 732.741.3176 ENGINEUTY.NJ.COM</p>	<p>SITE PLAN TAX BLOCK 64 LOTS 25.01, 25.02, 26 & 27 BOROUGH OF MANASQUAN MONMOUTH COUNTY, NEW JERSEY</p>	<p>OWNER / DEVELOPER / APPLICANT: BROAD STREET 34, LLC 126 MAIN STREET MANASQUAN, NJ 08736 PHONE: (732) 522-0197</p>	<p>JACLYN J. FLOR, P.E., P.P., C.M.E. CONSULTING ENGINEER</p> <p style="text-align: right;"><i>Jaclyn J. Flor</i></p> <p>LICENSED PROFESSIONAL ENGINEER STATE OF NJ LICENCE NO. 24GE045426 CERTIFICATE OF AUTHORIZATION 24GA28268000</p> <p style="text-align: right;">10/25/19 DATE</p>	<p>PROJECT NO. SEPE-00020 DRAWING CP-1 SHEET NO. 2 OF 10</p>
REV. NO.	DATE	DRWN	CHKD	REMARKS													
1	7/7/20	PAS	JJF	REVISED PLANS AS PER BOARD ENGINEER'S COMMENTS													



ENGINEERING INFRASTRUCTURE AND ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF ENGINEERING INFRASTRUCTURE.

REV. NO.	DATE	DRWN	CHKD	REMARKS
1	7/7/20	MJB	JJF	REVISED PLANS AS PER BOARD ENGINEER'S COMMENTS

DESIGNED BY: PAS
 DRAWN BY: PAS
 SHEET CHK'D BY: JJF
 CROSS CHK'D BY:
 APPROVED BY:
 DATE: OCTOBER 25, 2019



ENGINEERING INFRASTRUCTURE
 2 BRIDGE AVENUE, SUITE 323
 RED BANK, NJ 07701
 732.741.3176
 ENGENUITYNJ.COM

GRADING AND SESC PLAN
 TAX BLOCK 64
 LOTS 25.01, 25.02, 26 & 27
 BOROUGH OF MANASQUAN
 MONMOUTH COUNTY, NEW JERSEY

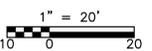
OWNER / DEVELOPER / APPLICANT:
BROAD STREET 34, LLC
 126 MAIN STREET
 MANASQUAN, NJ 08736
 PHONE: (732) 522-0197

JACLYN J. FLOR, P.E., P.P., C.M.E.
 CONSULTING ENGINEER

 LICENSED PROFESSIONAL ENGINEER
 STATE OF NJ LICENCE NO. 24GE045426
 CERTIFICATE OF AUTHORIZATION 24GA28268000

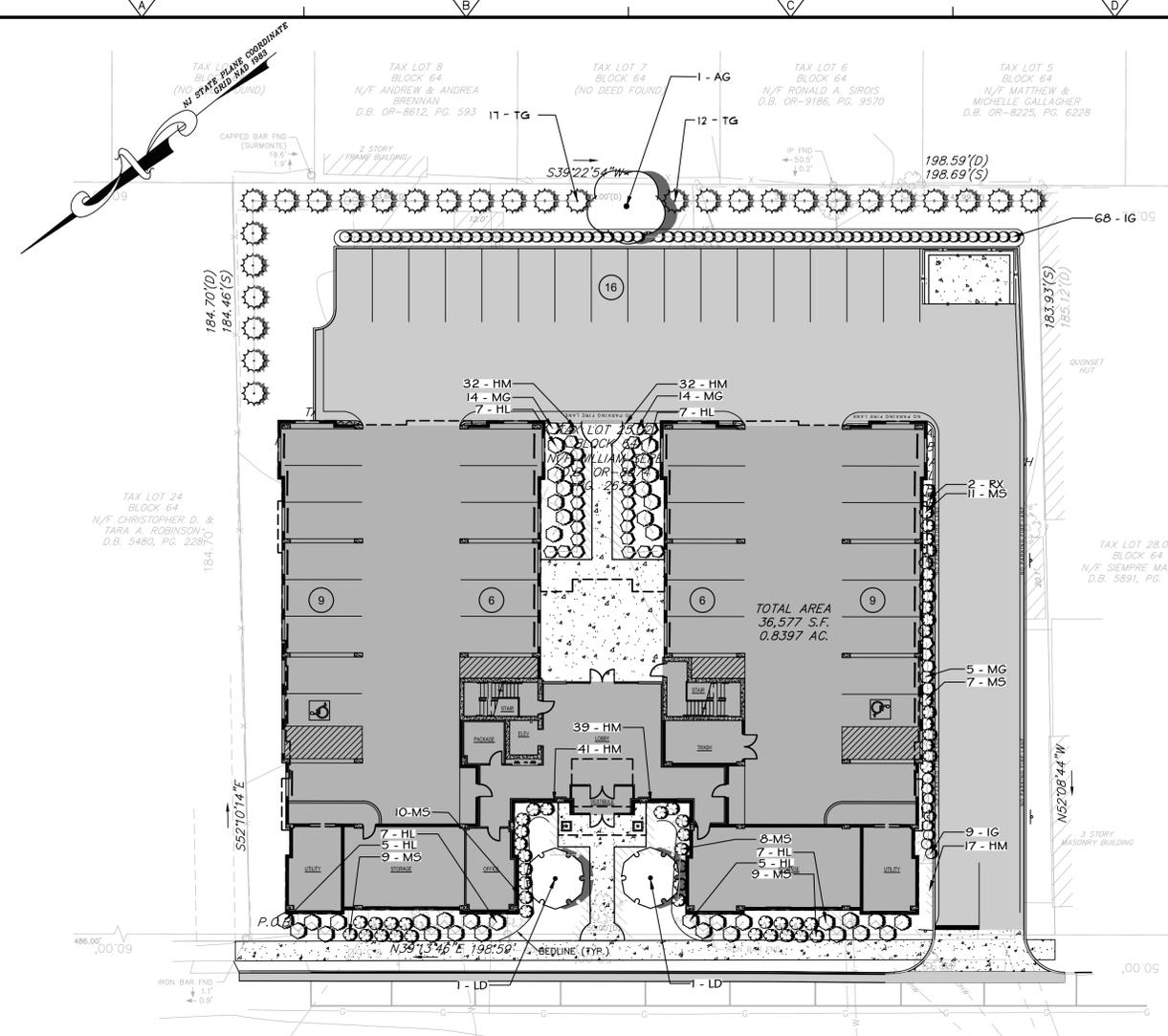
10/25/19
 DATE

PROJECT NO. SEPE-00020
 DRAWING GR/SE-1
 SHEET NO. 3 OF 10

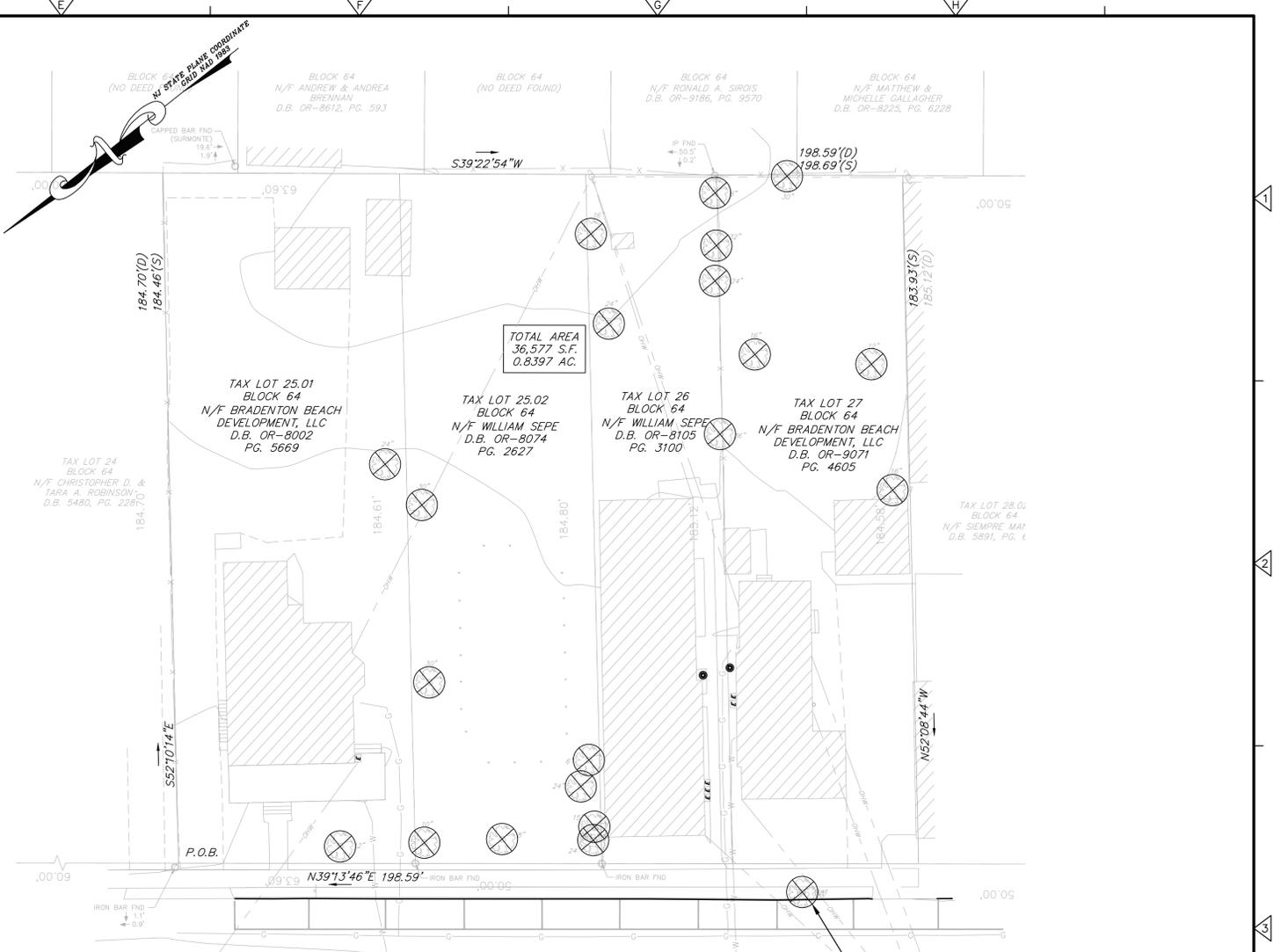


NOT FOR CONSTRUCTION

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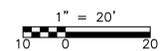
LANDSCAPE PLAN



TREE REMOVAL PLAN

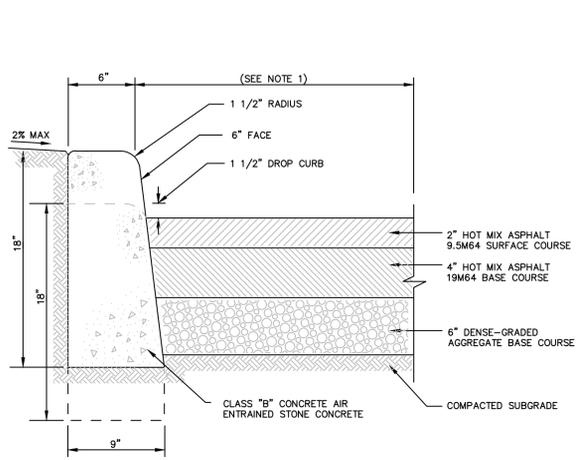
EXISTING TREE TO BE REMOVED (TYP.)

PLANT SCHEDULE								
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CAL.	HT.	ROOT	COMMENTS
	AG	1	Acer rubrum 'October Glory'™	October Glory Maple	2" - 2 1/2" CAL.		B&B	FULL SPECIMEN
	LD	2	Lagerstroemia indica 'Dallas Red'	Red Crape Myrtle	---	6' - 7' HT.	B&B	FULL SPECIMEN
	TG	29	Thuja occidentalis 'Green Giant'	Green Giant Arborvitae	---	6' - 7' HT.	B&B	FULL TO GROUND
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	COMMENTS	
	HL	38	Hydrangea paniculata 'Little Lime'	Little Lime Hydrangea	3 gal.	Pot	3' O.C.	
	IG	68	Ilex glabra 'Shamrock'	Inkberry	2.5' - 3'	5 Gal.	3' O.C.	
	MG	33	Miscanthus sinensis 'Gracillimus'	Maiden Grass	3 gal.	Pot	FULL PLANTS	
	MS	54	Miscanthus sinensis 'Morning Light'	Eulalia Grass	3 gal.	Pot	FULL PLANTS	
	RX	2	Rosa x 'Radrazz'	Knock Out Shrub Rose	3 gal.	Pot	3' O.C.	
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	COMMENTS	SPACING
	HM	161	Hemerocallis x 'Stella de Oro'	Stella de Oro Daylily	2 gal.	Pot	FULL PLANTS	18" O.C.



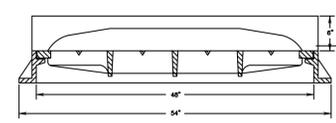
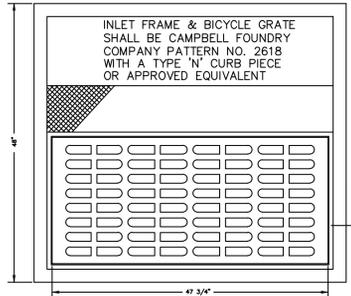
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REV. NO.	DATE	DRWN	CHKD	REMARKS												
1	7/7/20	PAS	JJF	REVISED PLANS AS PER BOARD ENGINEER'S COMMENTS												

ENGENUITY INFRASTRUCTURE AND ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF ENGENUITY INFRASTRUCTURE.

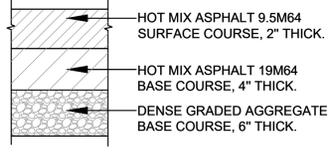


- NOTE: 1) IN AREAS WHERE EXISTING PAVEMENT IS TO REMAIN, A 2" WIDE PAVEMENT REPAIR STRIP SHALL BE CONSTRUCTED ALONG PROPOSED CURB. THE FOLLOWING ITEMS OF WORK WITHIN THE REPAIR STRIP ARE INCLUDED UNDER 9" x 18" CONCRETE VERTICAL CURB:
- SAWCUT
 - CONCRETE CURING AND SEALING COMPOUND
 - EXCAVATION UNCLASSIFIED
 - BACKFILL MATERIAL
 - COMPACTED SUBGRADE
 - DENSE-GRADED AGGREGATE BASE COURSE
 - HOT MIX ASPHALT 19M64 BASE COURSE - REMOVAL OF MONOLITHIC CONCRETE CURB AND GUTTER (IF REQUIRED)
- 2) CURB DEPTH SHALL BE MAINTAINED AT DROP CURBS.
- 3) 4" THICK, COARSE AGGREGATE SIZE NO. 57 SHALL BE CONSTRUCTED UNDERNEATH PROPOSED CURB IN WET FIELD CONDITIONS AS DIRECTED BY ENGINEER.
- 4) TOP OF CURB SHALL NOT BE SET HIGHER THAN ADJACENT EXISTING OR PROPOSED SIDEWALK UNDER ANY CONDITION.
- 5) ALL CONCRETE SURFACES SHALL BE TREATED WITH A CONCRETE CURING AND SEALING COMPOUND.

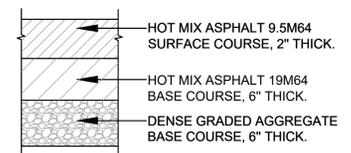
9"x18" CONCRETE VERTICAL CURB
 DETAIL (A) CD1



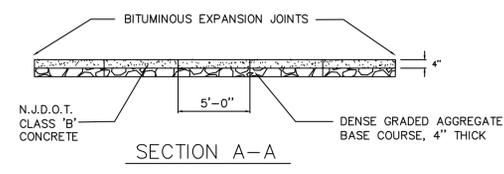
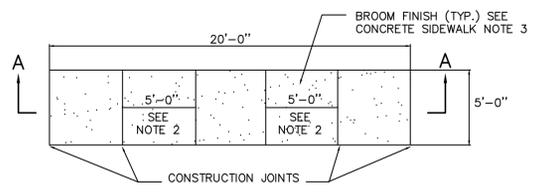
TYPE 'B' INLET FRAME
 DETAIL (B) CD1



PAVEMENT REPAIR DETAIL
 DETAIL (C1) CD1



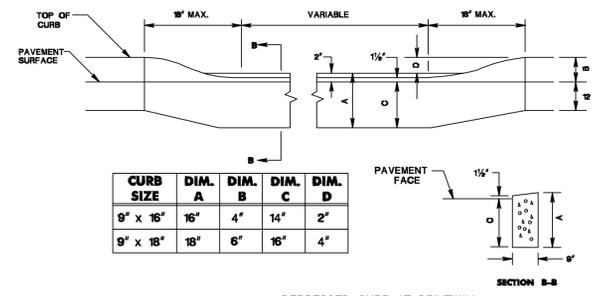
MONMOUTH COUNTY PAVEMENT REPAIR DETAIL
 DETAIL (C2) CD1



CONCRETE SIDEWALK NOTES:

- A PREFORMED, BITUMINOUS EXPANSION JOINT 3/4" THICK, 5" WIDE, AND EXTENDING THE FULL WIDTH OF THE WALK, UNBROKEN, SHALL BE INSTALLED EVERY TWENTY (20) FEET.
- CONSTRUCTION JOINTS SHALL BE INSTALLED EVERY FIVE (5) FEET THE FULL WALK WIDTH. HOWEVER, WHERE SIDEWALK IS DISTINCTLY WIDER THAN 5 FEET, THE JOINT SPACING IS TO BE INCREASED TO PROVIDE APPROXIMATELY SQUARE CONCRETE SIDEWALK FLAGS BETWEEN JOINTS. CONSTRUCTION AND EXPANSION JOINT SPACING WHERE SIDEWALK ABUTS THE EXISTING SIDEWALK IN THE COUNTY RIGHT-OF-WAY SHALL MATCH THE EXISTING JOINT SPACING.
- THERE SHALL BE A BROOM FINISH WITH THE EDGES FINISHED WITH A SUITABLE TOOL. CONCRETE FINISHING WHERE THE SIDEWALK ABUTS THE EXISTING SIDEWALK IN THE COUNTY RIGHT-OF-WAY SHALL MATCH THE EXISTING CONCRETE FINISHING.
- CONCRETE SIDEWALK THAT ABUT BUILDINGS SHALL PROVIDE A 6" TO 8" THICK HAUNCH FOR A WIDTH OF 6' TO 8'.
- UNLESS OTHERWISE DIRECTED BY THE ENGINEER, CONSTRUCTION WHICH DOES NOT CONFORM TO THE TOLERANCES SPECIFIED (IE. WHICH EXCEEDS THE MAXIMUM OR IS LESS THAN THE MINIMUM) WILL BE REMOVED AND REPLACED WITHOUT COST TO THE OWNER.
- CONCRETE FOR CURBS, SIDEWALKS, CURB RAMPS AND MONOLITHIC CURB RAMP CRADLES SHALL BE NJDOT CLASS B.
- EXPANSION JOINTS WITH PREFORMED EXPANSION JOINT FILLER FOR CONCRETE (BITUMINOUS TYPE), SHALL BE PROVIDED AS FOLLOWS:
 - 3.1 3/4" THICK AT LONGITUDINAL INTERVALS OF APPROXIMATELY TWENTY FEET (20') AND BETWEEN ALL SIDEWALK CURB RAMPS AND MONOLITHIC CURB RAMP CRADLES.
 - 3.2 3/4" THICK BETWEEN CURB AND SIDEWALK, AROUND ALL STRUCTURES OR APPURTENANCES, SUCH AS MANHOLES, JUNCTION BOXES AND UTILITY POLES, AND ADJACENT TO ANY FIXED STRUCTURE.
- EXPANSION JOINT MATERIAL SHALL BE TRIMMED AS TO BE SLIGHTLY BELOW THE SURFACE OF THE CONCRETE.
- JOINT SEALER WHERE SHOWN OR REQUIRED SHALL CONFORM TO NJDOT SPECIFICATION 914. HOT-POURED JOINT SEALER SHALL CONFORM TO ASTM D 6690. COLD-APPLIED JOINT SEALER SHALL CONFORM TO ASTM D 5893, TYPE SL OR TYPE NS.
- TOOLED JOINTS SHALL BE PROVIDED WITH A GROOVING TOOL SO AS TO DIVIDE THE CONCRETE SURFACE INTO BLOCKS AS CLOSELY APPROACHING A SQUARE AS PRACTICABLE. GROOVES SHALL BE CUT TO A DEPTH OF AT LEAST 1/2 INCH AND SHALL BE FINISHED WITH AN EDGING TOOL HAVING A RADIUS OF 1/4 INCH.
- UNLESS OTHERWISE DIRECTED BY THE ENGINEER, EXPANSION AND TOOLED JOINTS IN CONCRETE SURFACES SHALL BE ALIGNED WITH JOINTS IN CURBS.
- PUBLIC SIDEWALK CURB RAMPS, TURNING SPACES, BLENDED TRANSITIONS AND CLEAR SPACES WITHIN THE PEDESTRIAN ACCESS ROUTE SHALL NOT CONTAIN GRATINGS, COVERS, UTILITY BOXES OR SIMILAR OBSTRUCTION. OUTSIDE OF THE ABOVE AREAS, GRATINGS IN PUBLIC SIDEWALKS MAY HAVE OPENINGS NO GREATER THAN 1/2 INCH WIDE MEASURED PARALLEL TO DIRECTION OF TRAVEL.

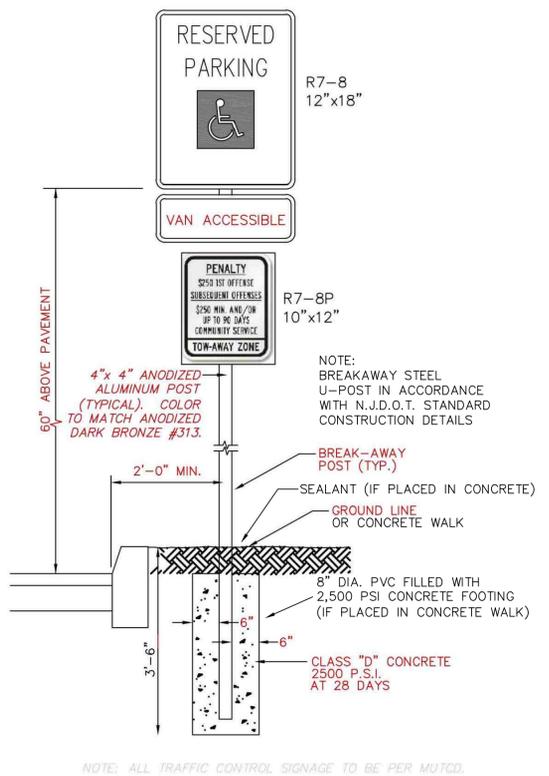
CONCRETE SIDEWALK
 DETAIL (D) CD1



DEPRESSED CURB AT DRIVEWAY
 DETAIL (E) CD1

CURB SIZE	DIM. A	DIM. B	DIM. C	DIM. D
9" x 16"	16"	4"	14"	2"
9" x 18"	18"	6"	16"	4"

CONSTRUCTION DETAILS

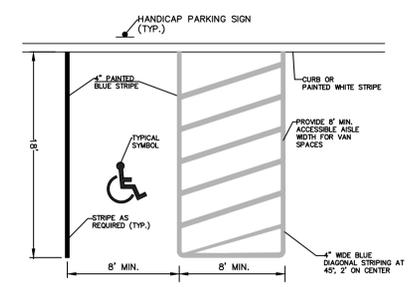


NOTE: ALL TRAFFIC CONTROL SIGNAGE TO BE PER MUTCD.

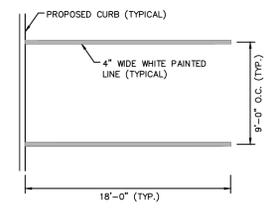
GENERAL NOTES - SIGN POSTS:

- ALL POSTS TO BE OF ADEQUATE LENGTH TO MEET THE REQUIREMENTS FOR ERECTION AS STATED IN THE CURRENT "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" AND AS INDICATED BELOW.
- ALL SMALL SIGN SUPPORTS TO BE OF THE BREAKAWAY TYPE WITH EXCEPTION OF THOSE INSTALLED BEHIND GUIDE RAIL OR OTHER ROADSIDE BARRIER.
- ALL STEEL POSTS AND BRACKETS TO BE CUT, BENT, AND HOLES PUNCHED AND DRILLED BEFORE GALVANIZING. GALVANIZING TO BE ACCORDING TO ASTM A123.
- ALL STEEL U-POST SIGN SUPPORTS MUST BE INSTALLED FACING THE PREDOMINANT TRAFFIC FLOW. USE A MOUNTING BRACKET ON SIDE MOUNTED SIGNS SUCH AS "ONE WAY" SIGNS INSTALLED IN MEDIANS.
- SIGN PANEL SIZES ARE TO DETERMINE POST TYPE AND NUMBER AS SHOWN ON THIS DETAIL.
- BOLTS ARE NOT TO PROTRUDE MORE THAN 3/4" BEYOND THE NUT WHEN TIGHT, BUT ARE TO ENGAGE ALL THREADS IN THE NUT.
- WHEN SIGNS ARE INSTALLED ON SLOPES 10H:1V OR FLATTER, THE MINIMUM VERTICAL CLEARANCE REQUIREMENTS FOR SIGNS ARE:
 - FOR SINGLE POST INSTALLATIONS - THE MINIMUM DISTANCE BETWEEN THE EDGE OF THE PAVEMENT AND THE BOTTOM OF ANY PANEL MUST BE 7 FEET, AND THE MINIMUM DISTANCE FROM EDGE OF PAVEMENT TO THE TOP OF ANY SIGN PANEL MUST BE 9 FEET.
 - WHERE GRADING OF 10H:1V OR FLATTER CANNOT BE OBTAINED, OR WHERE CURB OR BERM IS GREATER THAN 4 INCHES, THE MINIMUM VERTICAL CLEARANCE WILL BE MEASURED FROM THE GROUND LINE TO THE BOTTOM OF THE SIGN.
- THE HORIZONTAL OFFSET FROM EDGE OF PAVEMENT TO EDGE OF SIGN IS DERIVED FROM SECTION 2A.19 OF THE MUTCD.
- EXTRUDED ALUMINUM SIGN PANELS ARE NOT PERMITTED FOR USE WITH STEEL U-POST SIGN SUPPORTS.

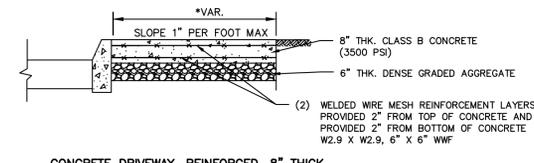
TYPICAL HANDICAP PARKING SIGN
 DETAIL (I) CD1



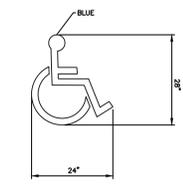
ACCESSIBLE PARKING STALL STRIP
 DETAIL (K) CD1



90° PARKING STALL
 DETAIL (L) CD1



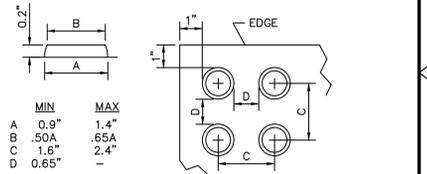
CONCRETE DRIVEWAY, REINFORCED, 8" THICK
 DETAIL (M) CD1



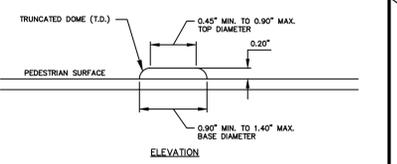
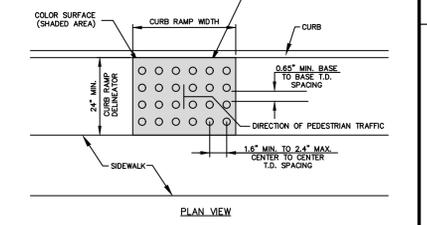
ADA SYMBOL
 DETAIL (F) CD1



NO PARKING FIRE LANE SIGN
 DETAIL (J) CD-1



DETAIL - DETECTABLE WARNING
 (SEE GENERAL NOTE 11)
 NOT TO SCALE



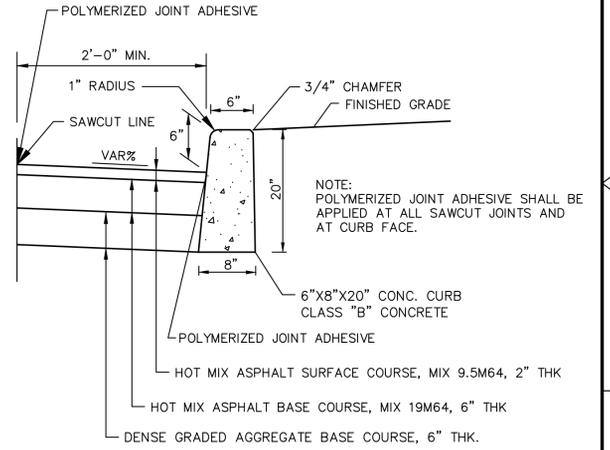
DETECTABLE WARNING SURFACE
 DETAIL (H) CD1



GENERAL NOTES - SIGNS:

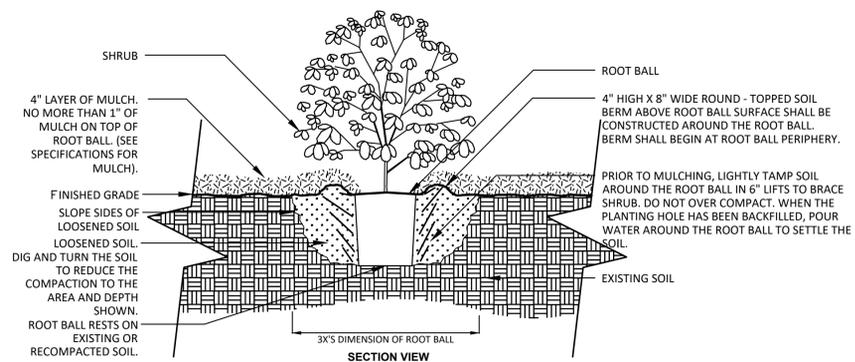
- DIMENSIONS, COLORS, AND DETAILS OF SIGNS AND SYMBOLS TO FOLLOW STANDARDS IN THE CURRENT "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS".
- ALL SIGNS TO BE ASTM D 4956 TYPE III SHEETING.

SIGN
 DETAIL (G) CD1

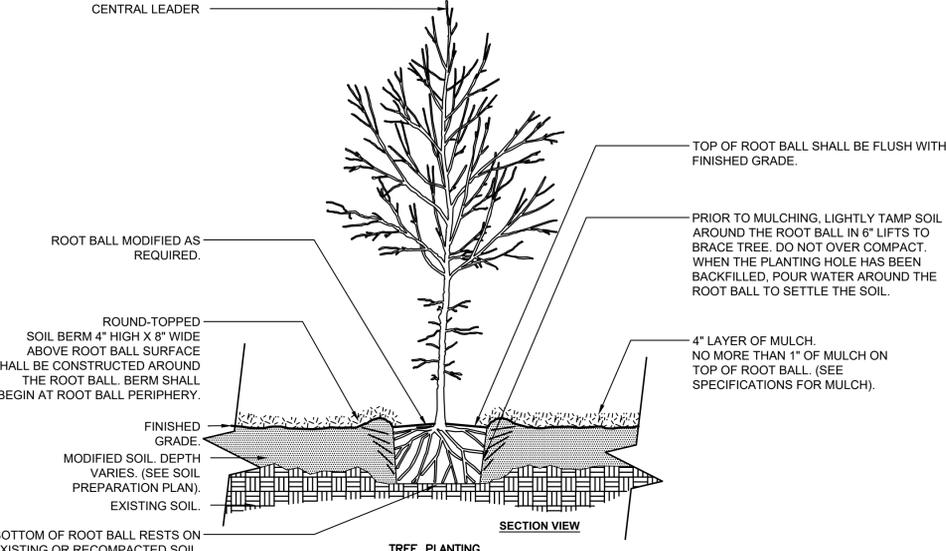


MONMOUTH COUNTY CURB AND PAVEMENT REPAIR
 DETAIL (K) CD1

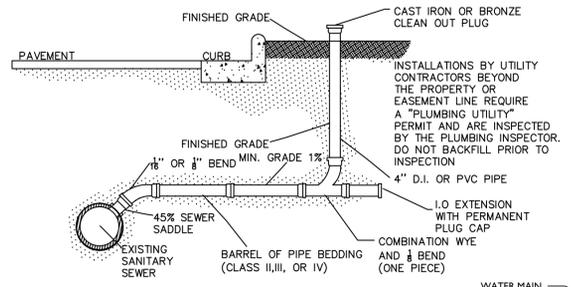
DESIGNED BY: PAS	ENGENUITY INFRASTRUCTURE	CONSTRUCTION DETAILS PLAN-1	OWNER / DEVELOPER / APPLICANT:	JACLYN J. FLOR, P.E., P.P., C.M.E.	PROJECT NO. SEPE-00020
DRAWN BY: PAS	2 BRIDGE AVENUE, SUITE 323	TAX BLOCK 64	BROAD STREET 34, LLC	CONSULTING ENGINEER	DRAWING
SHEET CHK'D BY: JJF	RED BANK, NJ 07701	LOTS 25.01, 25.02, 26 & 27	126 MAIN STREET	10/25/19	CD-1
CROSS CHK'D BY:	732.741.3176	BOROUGH OF MANASQUAN	MANASQUAN, NJ 08736	DATE	SHEET NO.
APPROVED BY:	ENGENUITYNJ.COM	MONMOUTH COUNTY, NEW JERSEY	PHONE: (732) 522-0197		6 OF 10
DATE: OCTOBER 25, 2019					



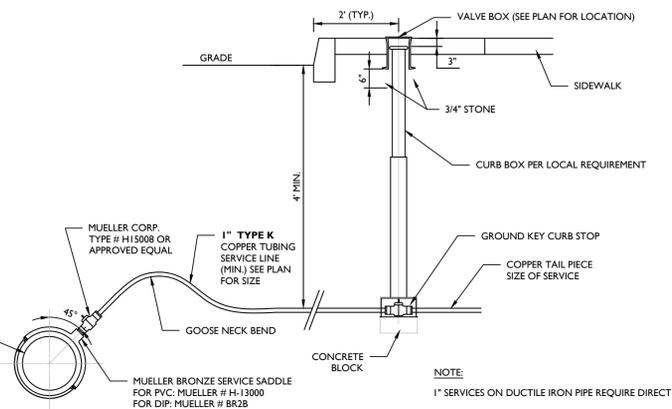
SHRUB PLANTING DETAIL A
NTS CD2



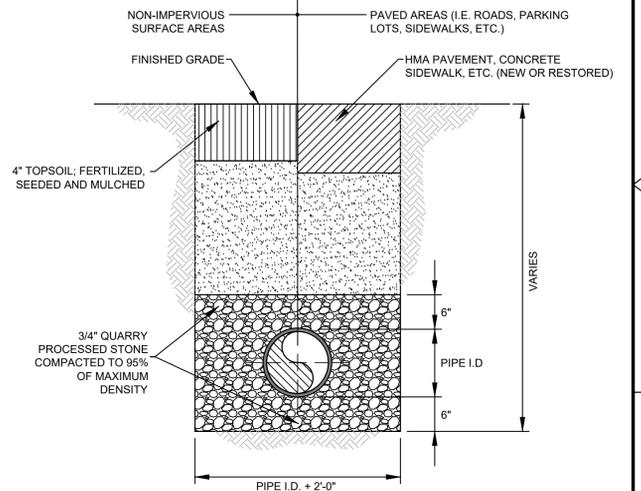
TREE PLANTING DETAIL B
NTS CD2



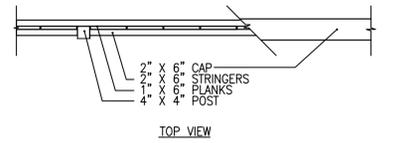
SANITARY SEWER LATERAL CONNECTION DETAIL D
NTS CD2



WATER SERVICE CONNECTION DETAIL E
NTS CD2

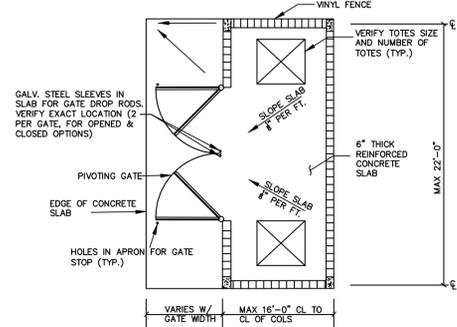
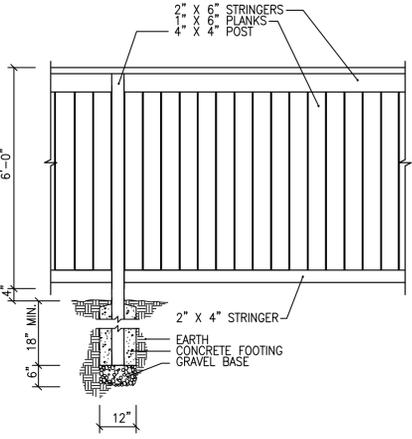


PVC PIPE BEDDING DETAIL G
NTS CD2

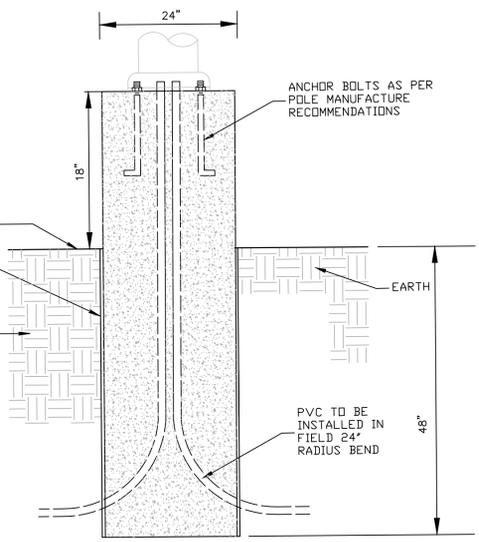


- NOTES:
• ALL NAILS AND HARDWARE TO BE HOT DIPPED GALVANIZED
• POSTS TO BE WOLMANIZED PINE GRADE C OR BETTER
• STRINGERS AND PLANKS TO BE WESTERN RED CEDAR #1

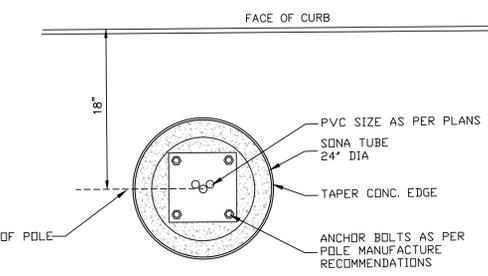
PRIVACY FENCE DETAIL C
NTS CD2



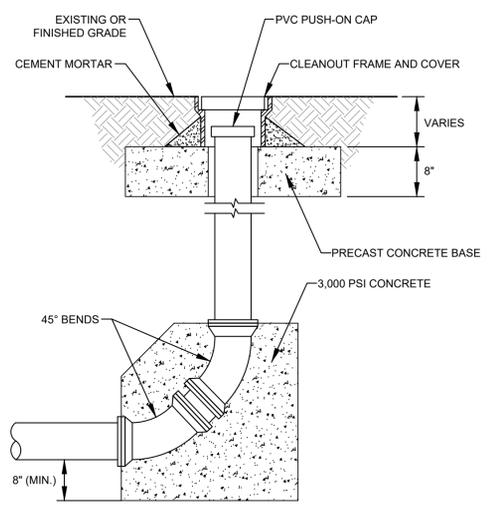
TRASH ENCLOSURE DETAIL J
NTS CD2



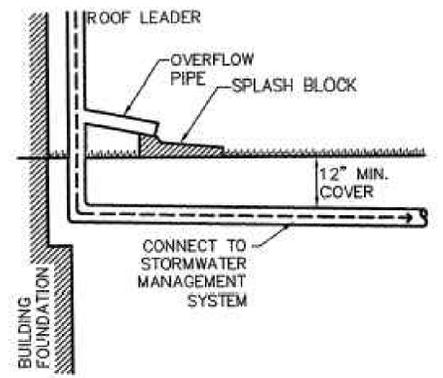
POURED CONCRETE LIGHT FOUNDATION DETAIL I
NTS CD2



- NOTES:
1. ALL CONDUIT IS TO BE SCHEDULED 40 GRAY
2. SWEEPS NEED TO BE A MINIMUM OF 24" RADIUS
3. ROD CONCRETE TO ELIMINATE AIR POCKETS IN 4000 LB. CONCRETE MIX
4. BOLT CIRCLE MAY VARY WITH POLE TO BE USED



CLEANOUT DETAIL F
NTS CD2



ROOF LEADER DETAIL K
NTS CD2

CONSTRUCTION DETAILS

ENGENUITY INFRASTRUCTURE AND ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF ENGENUITY INFRASTRUCTURE.

REV. NO.	DATE	DRWN	CHKD	REMARKS
1	7/7/20	PAS	JJF	REVISED PLANS AS PER BOARD ENGINEER'S COMMENTS

DESIGNED BY: PAS
DRAWN BY: PAS
SHEET CHK'D BY: JJF
CROSS CHK'D BY:
APPROVED BY:
DATE: OCTOBER 25, 2019



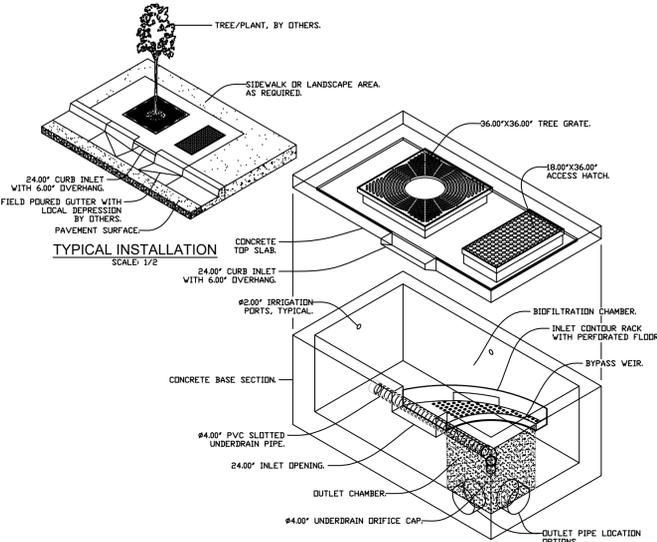
ENGENUITY INFRASTRUCTURE
2 BRIDGE AVENUE, SUITE 323
RED BANK, NJ 07701
732.741.3176
ENGENUITYNJ.COM

CONSTRUCTION DETAILS PLAN-2
TAX BLOCK 64
LOTS 25.01, 25.02, 26 & 27
BOROUGH OF MANASQUAN
MONMOUTH COUNTY, NEW JERSEY

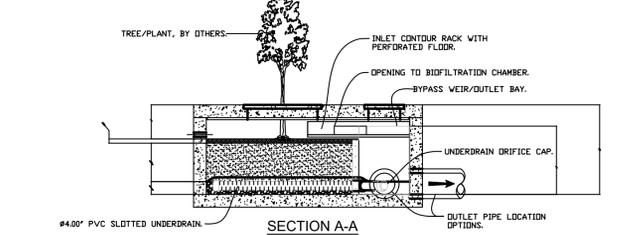
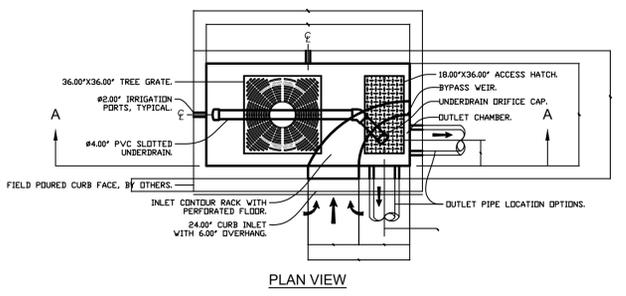
OWNER / DEVELOPER / APPLICANT:
BROAD STREET 34, LLC
126 MAIN STREET
MANASQUAN, NJ 08736
PHONE: (732) 522-0197

JACLYN J. FLOR, P.E., P.P., C.M.E.
CONSULTING ENGINEER
Jaclyn J. Flor
LICENSED PROFESSIONAL ENGINEER
STATE OF NJ LICENSE NO. 24GE045426
CERTIFICATE OF AUTHORIZATION 24GA28268000
DATE: 10/25/19

PROJECT NO. SEPE-00020
DRAWING CD-2
SHEET NO. 7 OF 10

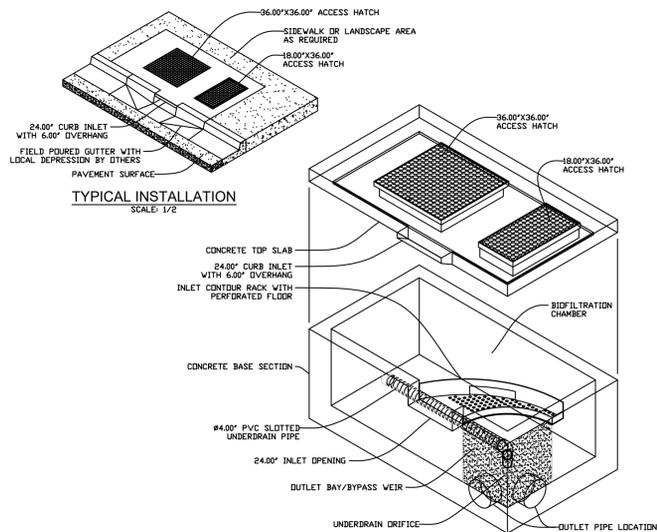


- NOTES:**
- RIGHT CONFIGURATION SHOWN, MIRROR LEFT CONFIGURATION OF INLET RACK AND BYPASS WEIR IS AVAILABLE TO ACCOMMODATE OTHER OUTLET PIPE LOCATIONS.
 - STANDARD UNITS CAN ACCOMMODATE UP TO A 15 INCH DIAMETER RCP OUTLET PIPE.
 - SEPARATE BYPASS STRUCTURE IS REQUIRED IF PEAK FLOW RATE EXCEEDS 2.0 CFS INTERNAL BYPASS CAPACITY.
 - 18"X36" DIAMOND PLATE ACCESS HATCH STANDARD, SLIP RESISTANT OPTION AVAILABLE.
 - CONTACT OLDCASTLE INFRASTRUCTURE FOR ENGINEERING ASSISTANCE AND DETAIL DRAWINGS.
 - CONCRETE COMPONENTS SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM C890 & C913.
 - VEGETATION BY OTHERS. CUSTOMER TO SPECIFY. INSTALLED AT TIME OF ACTIVATION. THE OWNER IS RESPONSIBLE FOR THE SURVIVAL OF THE VEGETATION AND MUST PROVIDE AS NECESSARY.

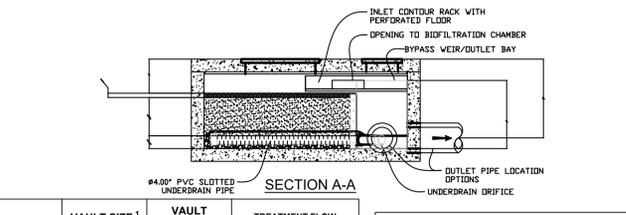
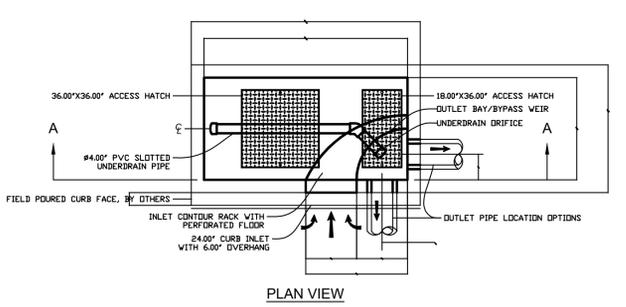


MODEL	VAULT SIZE ¹ (ID)		VAULT FOOTPRINT ¹ (OD)		TREATMENT FLOW CAPACITY ² (GPM/CFS)	TREATMENT FLOW CAPACITY ³ (GPM/CFS)
	A DIM	B DIM	A1 DIM	B1 DIM		
BPT-46IB-SI	4'	6'	5'	7'	33.4 / 0.074	37.5 / 0.084
BPT-48IB-SI	4'	8'	5'	9'	46.2 / 0.103	51.9 / 0.116
BPT-412IB-SI	4'	12'	5'	13'	71.8 / 0.160	80.7 / 0.180
BPT-66IB-SI	6'	6'	7'	7'	52.6 / 0.117	59.1 / 0.132
BPT-68IB-SI	6'	8'	7'	9'	71.8 / 0.160	80.7 / 0.180
BPT-612IB-SI	6'	12'	7'	13'	110.2 / 0.245	123.9 / 0.276
BPT-816IB-SI	8'	16'	9'	17'	199.8 / 0.445	224.7 / 0.501

1. All Dimensions Are Nominal
 2. Based on an WA Ecology GUILD Approval for Basic, Enhanced & Phosphorus. At 1.60 gpm/sf Media Surface Area.
 3. Based on an NJCAT Verification & NJ DEP Certification. At 1.80 gpm/sf Media Surface Area.

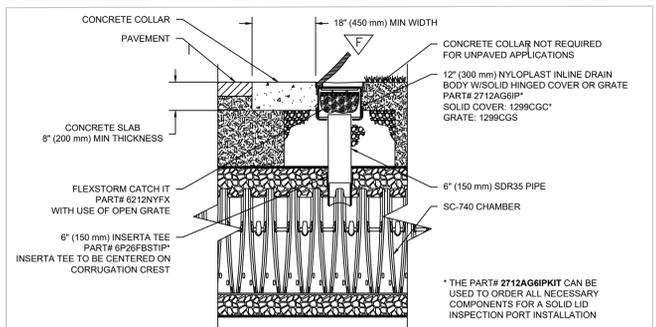


- NOTES:**
- RIGHT CONFIGURATION SHOWN, MIRROR LEFT CONFIGURATION OF INLET RACK AND BYPASS WEIR IS AVAILABLE TO ACCOMMODATE OTHER OUTLET PIPE LOCATIONS.
 - STANDARD UNITS CAN ACCOMMODATE UP TO A 15 INCH DIAMETER RCP OUTLET PIPE.
 - SEPARATE BYPASS STRUCTURE IS REQUIRED IF PEAK FLOW RATE EXCEEDS 2.0 CFS INTERNAL BYPASS CAPACITY.
 - DIAMOND PLATE ACCESS HATCH STANDARD, SLIP RESISTANT OPTION AVAILABLE.
 - CONTACT OLDCASTLE INFRASTRUCTURE FOR ENGINEERING ASSISTANCE AND DETAIL DRAWINGS.
 - CONCRETE COMPONENTS SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM C890 & C913.

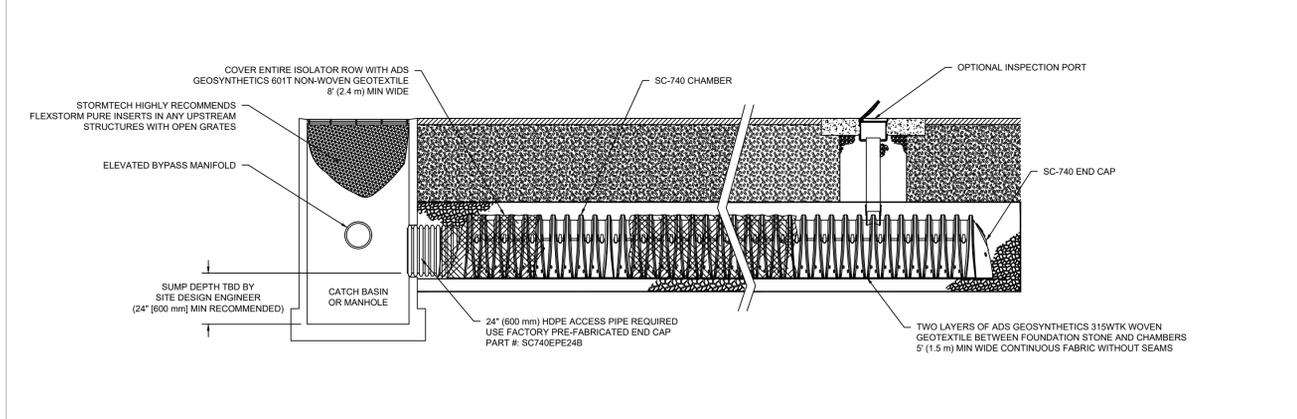


MODEL	VAULT SIZE ¹ (ID)		VAULT FOOTPRINT ¹ (OD)		TREATMENT FLOW CAPACITY (GPM/CFS)		SITE SPECIFIC DATA			
	A DIM	B DIM	A1 DIM	B1 DIM	1.6 GPM/SF (WA GULD) ²	1.8 GPM/SF (NJCAT) ³	Structure ID	Model Size	Orientation (Left or Right)	WQ2
BPS-46IB-SI	4'	6'	5'	7'	33.4 / 0.074	37.5 / 0.084	BPS-46IB-SI	4'x6'	Right	0.116 cfs
BPS-48IB-SI	4'	8'	5'	9'	46.2 / 0.103	51.9 / 0.116	BPS-48IB-SI	4'x8'	Right	0.132 cfs
BPS-412IB-SI	4'	12'	5'	13'	71.8 / 0.160	80.7 / 0.180	BPS-412IB-SI	4'x12'	Right	0.5 cfs
BPS-66IB-SI	6'	6'	7'	7'	52.6 / 0.117	59.1 / 0.132	BPS-66IB-SI	6'x6'	Right	17.70
BPS-68IB-SI	6'	8'	7'	9'	71.8 / 0.160	80.7 / 0.180	BPS-68IB-SI	6'x8'	Right	17.70
BPS-612IB-SI	6'	12'	7'	13'	110.2 / 0.245	123.9 / 0.276	BPS-612IB-SI	6'x12'	Right	17.70
BPS-812IB-SI	8'	12'	9'	13'	148.5 / 0.331	167.0 / 0.372	BPS-812IB-SI	8'x12'	Right	17.70
BPS-816IB-SI	8'	16'	9'	17'	199.8 / 0.445	224.7 / 0.501	BPS-816IB-SI	8'x16'	Right	17.70

1. All Dimensions are nominal. ID=Inside Dimension, OD=Outside Dimension.
 2. Treatment flow capacity at 1.6 gpm/sf media surface area based on an WA Ecology GUILD Approval for Basic, Enhanced & Phosphorus.
 3. Treatment flow capacity at 1.8 gpm/sf media surface area based on an NJCAT Verification & NJ DEP Certification.



3 SC-740 6" (150 mm) INSPECTION PORT DETAIL

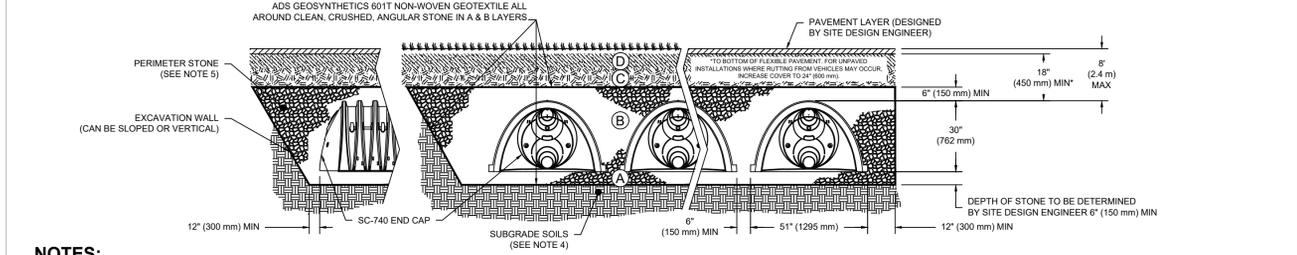


2 SC-740 ISOLATOR ROW DETAIL

ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'C' LAYER.	AASHTO M145 ¹ A-1, A-2-4, A-3 OR AASHTO M43 ² 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ² 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ² 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

PLEASE NOTE:
 1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) MAX LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
 3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.



- NOTES:**
- SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS", OR ASTM F2922 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 - SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 - "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
 - THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
 - PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
 - ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

1 SC-740 CROSS SECTION DETAIL

DESIGNED BY: PAS	ENGENUITY INFRASTRUCTURE	CONSTRUCTION DETAILS PLAN-3	OWNER / DEVELOPER / APPLICANT:	JACLYN J. FLOR, P.E., P.P., C.M.E.	PROJECT NO. SEPE-00020
DRAWN BY: PAS	2 BRIDGE AVENUE, SUITE 323	TAX BLOCK 64	BROAD STREET 34, LLC	CONSULTING ENGINEER	DRAWING
SHEET CHK'D BY: JJF	RED BANK, NJ 07701	LOTS 25.01, 25.02, 26 & 27	126 MAIN STREET	10/25/19	CD-3
CROSS CHK'D BY:	732.741.3176	BOROUGH OF MANASQUAN	MANASQUAN, NJ 08736	DATE	SHEET NO.
APPROVED BY:	ENGENUITYNJ.COM	MONMOUTH COUNTY, NEW JERSEY	PHONE: (732) 522-0197		8 OF 10
DATE: OCTOBER 25, 2019					

STANDARD FOR
TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION

Definition

Establishment of temporary vegetative cover on soils exposed for periods of two to 6 months which are not being graded, not under active construction or not scheduled for permanent seeding within 60 days.

Purpose

To temporarily stabilize the soil and reduce damage from wind and water erosion until permanent stabilization is accomplished.

Water Quality Enhancement

Provides temporary protection against the impacts of wind and rain, slows the overland movement of stormwater runoff, increases infiltration and retains soil and nutrients on site, protecting streams or other stormwater conveyances.

Where Applicable

On exposed soils that have the potential for causing off-site environmental damage.

Methods and Materials

- Site Preparation**
 - Grade as needed and feasible to permit the use of conventional equipment for seeded preparation, seeding, mulch application, and mulch anchoring. All grading should be done in accordance with Standards for Land Grading, p. 19-1.
 - Install needed erosion control practices or facilities such as diversions, grade stabilization structures, channel stabilization measures, sediment basins, and waterways. See Standards 11 through 42.
 - Immediately prior to seeding, the surface should be scarified 6" to 12" where there has been soil compaction. This practice is permissible only where there is no danger to underground utilities (cables, irrigation systems, etc.).
- Seeded Preparation**
 - Apply ground limestone and fertilizer according to soil test recommendations such as offered by Rutgers Cooperative Extension offices. Fertilizer shall be applied at the rate of 500 pounds per acre or 11 pounds per 1,000 square feet of 10-20-10 or equivalent with 50% water insoluble nitrogen unless a soil test indicates otherwise. Apply limestone per soil testing. Calcium carbonate is the equivalent and standard for measuring the ability of liming materials to neutralize soil acidity and supply calcium and magnesium to grasses and legumes.

- Work lime and fertilizer into the soil as nearly as practical to a depth of 4 inches with a disc, springtooth harrow, or other suitable equipment. The final harrowing or discing operation should be on the general contour. Continue tillage until a reasonably uniform seedbed is prepared.
- Inspect seedbed just before seeding. If traffic has left the soil compacted, the area must be retilled as above.
- Soils high on sulfides or having a pH of 4 or less refer to Standard for Management of High Acid Producing Soils, pg. 1-1.

III. Seeding

- Select seed from recommendations in Table.

SEED SELECTION	SEEDING RATES 1/ (pounds)		OPTIMUM SEEDING DATE 2/ Based on Plant Hardiness Zone 3/			OPTIMUM SEED DEPTH 4/ (inches)
	Per Acre	Per 1,000 Sq. Ft.	ZONE 5	ZONE 6	ZONE 7	
COOL SEASON GRASSES						
Perennial ryegrass	100	1.0	3/15-6/1 8/1-9/15	3/1-5/15 8/15-10/1	2/15-5/1 8/15-10/15	0.5
Spring Oats	86	2.0	3/15-6/1 8/1-9/15	3/1-5/15 8/15-10/1	2/15-5/1 8/15-10/15	1.0
Winter Barley	96	2.2	8/1-9/15	8/15-10/1	8/15-10/15	1.0
Annual ryegrass	100	1.0	3/15-6/1 8/1-9/15	3/1-5/15 8/15-10/1	2/15-5/1 8/15-10/15	0.5
Winter Cereal Rye	112	2.8	8/1-11/1	8/1-11/15	8/1-12/15	1.0
WARM SEASON GRASSES						
Pearl millet	20	0.5	6/1-8/1	5/15-8/15	5/1-9/1	1.0
Millet (German or Hungarian)	30	0.7	6/1-8/1	5/15-8/15	5/1-9/1	1.0

- Seeding rate for warm season grass. Not adjusted to reflect the amount of Pure Line Seed (PLS) as determined by a germination test result. No adjustment is required for cool season grasses.
- May be planted throughout summer if soil moisture is adequate or can be irrigated
- Plant Hardiness Zone (see below)
- Twice the depth for sandy soils

- Zone 5b (-10 to -15) Portions of Sussex and Warren Counties.
- Zone 6a (-5 to -10) Portions of Sussex, Warren, Passaic, Morris, Somerset and Hunterdon counties.
- Zone 6b (0 to -5) Portions of Bergen, Camden, Essex and Gloucester, Hunterdon, Mercer, Middlesex, Hudson, Monmouth, Ocean, Burlington, Morris, Passaic, Somerset, Union, Atlantic, Cumberland, and Cape May counties.
- Zone 7a (5 to 0) Portions of Camden, Gloucester, Salem, Cumberland, Cape May, Atlantic, Burlington, Ocean, and Monmouth counties.
- Zone 7b (10 to 5) Portions of Cape May, Atlantic, Ocean and Monmouth counties.

- Conventional Seeding** - Apply seed uniformly by hand, cyclone (centrifugal) seeder, drop seeder, drill or cultipacker seeder. Except for drilled, hydroseeded or cultipacker seedings, seed shall be incorporated into the soil, to a depth of 1/4 to 1/2 inch, by raking or dragging. Depth of seed placement may be 1/4 inch deeper on coarse textured soil.
- Hydroseeding is a broadcast seeding method usually involving a truck or trailer mounted tank, with an agitation system and hydraulic pump for mixing seed, water and fertilizer and spraying the mix onto the prepared seedbed. Mulch shall not be included in the tank with seed. Short fibered mulch may be applied with a hydroseeder following seeding. (Also see Section IV Mulching) Hydroseeding is not a preferred seeding method because seed and fertilizer are applied to the surface and not incorporated into the soil. Poor seed to soil contact occurs reducing seed germination and growth. Hydroseeding may be used for areas too steep for conventional equipment to traverse or too obstructed with rocks, stumps, etc.
- After seeding, firming the soil with a corrugated roller will assure good seed-to-soil contact, restore capillarity, and improve seeding emergence. This is the preferred method. When performed on the contour, sheet erosion will be minimized and water conservation on site will be maximized.

IV. Mulching

Mulching is required on all seeding. Mulch will insure against erosion before grass is established and will promote faster and earlier establishment. The existence of vegetation sufficient to control soil erosion shall be deemed compliance with this mulching requirement.

- Straw or Hay. Unrotted small grain straw, hay free of seeds, or salt hay to be applied at the rate of 1-1/2 to 2 tons per acre (70 to 90 pounds per 1,000 square feet), except that where a crimping is used instead of liquid mulch-binder (tackifying or adhesive agent), the rate of application is 3 tons per acre. Mulch chopper-blowers must not grind the mulch. Hay mulch is not recommended for establishing fine turf or lawns due to the presence of weed seed.

Application. Spread mulch uniformly by hand or mechanically so that approximately 95% of the soil surface will be covered. For uniform distribution of hand-spread mulch, divide area into approximately 1,000 square foot sections and distribute 70 to 90 pounds within each section.

Anchoring shall be accomplished immediately after placement to minimize loss by wind or water. This may be done by one of the following methods, depending upon the size of the area, steepness of slopes, and costs.

- Peg and Twine. Drive 8 to 10 inch wooden pegs to within 2 to 3 inches of the soil surface every 4 feet in all directions. Stakes may be driven before or after applying mulch. Secure mulch to soil surface by stretching twine between pegs in a criss-cross and a square pattern. Secure twine around each peg with two or more round turns.

- Mulch Nettings - Staple paper, jute, cotton, or plastic nettings to the soil surface. Use a degradable netting in areas to be mowed.

- Crimper (mulch anchoring tool). A tractor-drawn implement, somewhat like a disc harrow, especially designed to push or cut some of the broadcast long fiber mulch 3 to 4 inches into the soil so as to anchor it and leave part standing upright. This technique is limited to areas traversable by a tractor, which must operate on the contour of slopes. Straw mulch rate must be 3 tons per acre. No tackifying or adhesive agent is required.

- Liquid Mulch-Binders - May be used to anchor salt hay or straw mulches.
 - Applications should be heavier at edges where wind catches the mulch, in valleys, and at crests of banks. Remainder of area should be uniform in appearance.
 - Use one of the following:
 - Organic and Vegetable Based Binders - Naturally occurring, powder based, hydrophilic materials when mixed with water formulates a gel and when applied to mulch under satisfactory curing conditions will form membraned networks of insoluble polymers. The vegetable gel shall be physiologically harmless and not result in a phytotoxic effect or impede growth of turfgrass. Use at rates and weather conditions as recommended by the manufacturer to anchor mulch materials. Many new products are available, some of which may need further evaluation for use in this state.
 - Synthetic binders - High polymer synthetic emulsion, miscible with water when diluted and following application to mulch, drying and curing shall no longer be soluble or dispersible in water. It shall be applied at rates recommended by the manufacturer and remain tacky until germination of grass.

- Wood-fiber or paper-fiber mulch. Shall be made from wood, plant fibers or paper containing no growth or germination inhibiting materials, used at the rate of 1,500 pounds per acre (or as recommended by the product manufacturer) and may be applied by a hydroseeder. This mulch shall not be mixed in the tank with seed. Use is limited to flatter slopes and during optimum seeding periods in spring and fall.

- Pelletized mulch. Compressed and extruded paper and/or wood fiber product, which may contain co-polymers, tackifiers, fertilizers and coloring agents. The dry pellets, when applied to a seeded area and watered, form a mulch mat. Pelletized mulch shall be applied in accordance with the manufacturers recommendations. Mulch may be applied by hand or mechanical spreader at the rate of 60-75 lbs/1,000 square feet and activated with 0.2 to 0.4 inches of water. This material has been found to be beneficial for use on small lawn or renovation areas, seeded areas where weed-seed free mulch is desired or on sites where straw mulch and tackifier agent are not practical or desirable.

Applying the full 0.2 to 0.4 inches of water after spreading pelletized mulch on the seed bed is extremely important for sufficient activation and expansion of the mulch to provide soil coverage.

STANDARD FOR

PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION

Definition

Establishment of permanent vegetative cover on exposed soils where perennial vegetation is needed for long term protection.

Purpose

To permanently stabilize the soil, assuring conservation of soil and water, and to enhance the environment.

Who is Responsible

The Township of Howell is responsible for the maintenance of permanent soil erosion and sediment control measures after completion of construction. The contractor shall be responsible during construction.

Water Quality Enhancement

Slows the over-land movement of stormwater runoff, increases infiltration and retains soil and nutrients on site, protecting streams or other stormwater conveyances.

Where Applicable

On exposed soils that have a potential for causing off-site environmental damage.

Methods and Materials

- Site Preparation**
 - Grade as needed and feasible to permit the use of conventional equipment for seeded preparation, seeding, mulch application, and mulch anchoring. All grading should be done in accordance with Standards for Land Grading.
 - Immediately prior to seeding and topsoil application, the subsoil shall be evaluated for compaction in accordance with the Standard for Land Grading.
 - Topsoil should be handled only when it is dry enough to work without damaging the soil structure. A uniform application to a depth of 5 inches (unsettled) is required on all sites. Topsoil shall be done in accordance with organic matter, as needed, in accordance with Standard for Topsoiling.
 - Install needed erosion control practices or facilities such as diversions, grade stabilization structures, channel stabilization measures, sediment basins, and waterways.

- Seeded Preparation**
 - Uniformly apply ground limestone and fertilizer to topsoil which has been spread and firmed, according to soil test recommendations such as offered by Rutgers Co-operative Extension Soil sample analysis from the local Rutgers Cooperative Extension offices (<http://njces.rutgers.edu/county/>). Fertilizer shall be applied at the rate of 500 pounds per acre or 11 pounds 1,000 square feet of 10-10-10 or equivalent with 50% water insoluble nitrogen unless a soil test indicates otherwise and incorporated into the surface to a depth of 4 inches. If fertilizer is not incorporated, apply one-half the rate described above during seedbed preparation and repeat another one-half the rate application of the same fertilizer within 3 to 5 weeks after seeding.

- Work lime and fertilizer into the soil as nearly as practical to a depth of 4 inches with a disc, springtooth harrow, or other suitable equipment. The final harrowing or discing operation should be on the general contour. Continue tillage until a reasonable uniform seedbed is prepared.

- Soil having a pH of 4 or less or containing iron sulfide shall be covered with a minimum of 12 inches of soil having a pH of 5 or more before initiating seeded preparation. See Standard for Management of High Acid Producing Soils.

III. Seeding

- Use a mixture recommended by Rutgers Cooperative Extension or Natural Resources Conservation Service which is approved by the Soil Conservation District. The recommended seed mixture is as follows: Fine Fescue (Blend) 45 lbs. per acre or 10 lbs. per 1,000 sq. ft.; Hard Fescue 20 lbs. per acre or 4 lbs. per 1,000 sq. ft.; Chew Fescue 5 lbs. per 10 lbs. per 1,000 sq. ft.; Tall fescue 265 lbs. per acre or 6 lbs. per 1,000 sq. ft.; Perennial ryegrass (blend) 20 lbs. per acre or 5 lbs. per 1,000 sq. ft.; Turf type tall fescue 350 lbs. per acre or 8 lbs. per 1,000 sq. ft.; Hard fescue 175 lbs. per acre or 4 lbs. per 1,000 sq. ft.; Chew fescue 45 lbs. per acre or 1 lbs. per 1,000 sq. ft.; Strong Creeping red fescue 45 lbs. per acre or 1 lbs. per 1,000 sq. ft.; Perennial ryegrass 10 lbs. per acre or .25 lbs. per 1,000 sq. ft. Optimal planting period 3/1-4/30 or 6/15-10/15. Seed germination shall have been tested within 12 months of the planting date. No seed shall be accepted with a germination test date more than 12 months old unless retested.

- Seeding rates specified are required when a report of compliance is requested prior to actual establishment of permanent vegetation. Up to 50% reduction in rates may be used when permanent vegetation is established prior to a report of compliance inspection. These rates apply to all methods of seeding. Establishing permanent vegetation means 80% vegetative coverage with the specified seed mixture for the seeded area and mowed once.

- Warm-season mixtures are grasses and legumes which maximize growth at high temperatures, generally 85o F. and above. See Table 4-3 mixtures 1 to 7. Planting rates for warm-season grasses shall be the amount of Pure Live Seed (PLS) as determined by germination testing results.

- Cool-season mixtures are grasses and legumes which maximize growth at temperatures below 85oF. Many grasses have active at 65oF. See Table 4-3, mixtures 8-20. Adjustment of planting rates to compensate for the amount of PLS is not required for cool season grasses.

- Conventional Seeding - Apply seed uniformly by hand, cyclone (centrifugal) seeder, drop seeder, drill or cultipacker seeder. Except for drilled, hydroseeded or cultipacker seedings, seed shall be incorporated into the soil within 24 hours of seeded preparation to a depth of 1/4 to 1/2 inch, by raking or dragging. Depth of seed placement may be 1/4 inch deeper on coarse textured soil.

- After seeding, firming the soil with a corrugated roller will assure good seed-to-soil contact, restore capillarity, and improve seeding emergence. This is the preferred method. When performed on the contour, sheet erosion will be minimized and water conservation on site will be maximized.

- Hydroseeding is a broadcast seeding method usually involving a truck or trailer mounted tank, with an agitation system and hydraulic pump for mixing seed, water and fertilizer and spraying the mix onto the prepared seedbed. Mulch shall not be included in the tank with seed. Short fibered mulch may be applied with a hydroseeder following seeding. Hydroseeding is not a preferred seeding method because seed and fertilizer are applied to the surface and not incorporated into the soil. Poor seed to soil contact occurs reducing seed germination and growth. Hydroseeding may be used for areas too steep for conventional equipment to traverse or too obstructed with rocks, stumps, etc.

IV. Mulching

Mulching is required on all seeding. Mulch will protect against erosion before grass is established and will promote faster and earlier establishment. The existence of vegetation sufficient to control soil erosion shall be deemed compliance with this mulching requirement.

- Straw or Hay. Unrotted small grain straw, hay free of seeds, or salt hay to be applied at the rate of 1-1/2 to 2 tons per acre (70 to 90 pounds per 1,000 square feet), except that where a crimping is used instead of liquid mulch-binder (tackifying or adhesive agent), the rate of application is 3 tons per acre. Mulch chopper-blowers must not grind the mulch. Hay mulch is not recommended for establishing fine turf or lawns due to the presence of weed seed.

Application - Spread uniformly by hand mechanically so that approximately 85% of the soil surface will be covered. For uniform distribution of hand-spread mulch, divide area into approximately 1,000 square foot sections and distribute 70 to 90 pounds within each section.

Anchoring should be accomplished immediately after placement to minimize loss by wind or water. This may be done by one of the following methods, depending upon the size of the area, steepness of slopes, and costs.

- Peg and Twine - Drive 8 to 10 inch wooden pegs to within 2 to 3 inches of the soil surface every 4 feet in all directions. Stakes may be driven before or after applying mulch. Secure mulch to soil surface by stretching twine between pegs in a criss-cross and a square pattern. Secure twine around each peg with two or more round turns.

- Mulch Nettings - Staple paper, jute, cotton, or plastic nettings to the soil surface. Use a degradable netting in areas to be mowed.

- Crimper (mulch anchoring tool) - A tractor-drawn implement, somewhat like a disc-harrow, especially designed to push or cut some of the broadcast long fiber mulch 3 to 4 inches into the soil so as to anchor it and leave part standing upright. This technique is limited to areas traversable by a tractor, which must operate on the contour of slopes. Straw mulch rate must be 3 tons per acre. No tackifying or adhesive agent is required.

- Liquid Mulch-Binders - May be used to anchor salt hay or straw mulches.
 - Applications should be heavier at edges where wind catches the mulch, in valleys, and at crests of banks. Remainder of area should be uniform in appearance.
 - Use one of the following:
 - Organic and Vegetable Based Binders - Naturally occurring, powder based, hydrophilic materials when mixed with water formulates a gel and when applied to mulch under satisfactory curing conditions will form membraned networks of insoluble polymers. The vegetable gel shall be physiologically harmless and not result in a phytotoxic effect or impede growth of turfgrass. Use at rates and weather conditions as recommended by the manufacturer to anchor mulch materials. Many new products are available, some of which may need further evaluation for use in this state.
 - Synthetic binders - High polymer synthetic emulsion, miscible with water when diluted and following application to mulch, drying and curing shall no longer be soluble or dispersible in water. It shall be applied at rates recommended by the manufacturer and remain tacky until germination of grass.

- Wood-fiber or paper-fiber mulch. Shall be made from wood, plant fibers or paper containing no growth or germination inhibiting materials, used at the rate of 1,500 pounds per acre (or as recommended by the product manufacturer) and may be applied by a hydroseeder. This mulch shall not be mixed in the tank with seed. Use is limited to flatter slopes and during optimum seeding periods in spring and fall.

- Pelletized mulch. Compressed and extruded paper and/or wood fiber product, which may contain co-polymers, tackifiers, fertilizers and coloring agents. The dry pellets, when applied to a seeded area and watered, form a mulch mat. Pelletized mulch shall be applied in accordance with the manufacturers recommendations. Mulch may be applied by hand or mechanical spreader at the rate of 60-75 lbs/1,000 square feet and activated with 0.2 to 0.4 inches of water. This material has been found to be beneficial for use on small lawn or renovation areas, seeded areas where weed-seed free mulch is desired or on sites where straw mulch and tackifier agent are not practical or desirable.

Applying the full 0.2 to 0.4 inches of water after spreading pelletized mulch on the seed bed is extremely important for sufficient activation and expansion of the mulch to provide soil coverage.

- Irrigation** (where feasible)
 - If soil moisture is deficient, and mulch is not used, supply new seedlings with adequate water (a minimum of 1/4 inch twice a day until vegetation is well established). This is especially true when seedlings are made in abnormally dry or hot weather or on droughty sites.

- Topdressing**
 - Since soil organic matter content and slow release nitrogen fertilizer (water insoluble) are prescribed in Section 2A - Seeded Preparation in this Standard, no follow-up of topdressing is mandatory. An exception may be made where grass nitrogen deficiency exists in the soil to the extent that turf failure may develop. In that instance, topdress with 10-10-10 or equivalent at 300 pounds per acre or 7 pounds per 1,000 square feet every 3 to 5 weeks until the grass nitrogen deficiency in the turf is ameliorated.
- Establishing Permanent Vegetative Stabilization**
 - The quality of permanent vegetation rests with the contractor. The timing of seeding, preparing the seedbed, applying nutrients, mulch and other management are essential. The seed application rate is required when a Report of Compliance is requested prior to actual establishment of permanent vegetation. Up to 50% reduction in application rates may be used when permanent vegetation is established prior to requesting a Report of Compliance from the district. This rate applies to all methods of seeding. Establishing permanent vegetation means 80% vegetative cover (of the seeded species) and mowed once.

STANDARD FOR
STABILIZATION WITH MULCH ONLY

Definition

Stabilizing exposed soils with non-vegetative materials exposed for periods longer than 14 days

Purpose

To protect exposed soil surfaces from erosion damage and to reduce offsite environmental damage.

Water Quality Enhancement

Provides temporary mechanical protection against wind or rainfall induced soil erosion until permanent vegetative cover may be established.

Where Applicable

This practice is applicable to areas subject to erosion, where the season and other conditions may not be suitable for growing an erosion-resistant cover or where stabilization is needed for a short period until more suitable protection can be applied.

Method and Materials

1. Site Preparation

- Grade as needed and feasible to permit the use of conventional equipment for seeded preparation, seeding, mulch application, and mulch anchoring. All grading should be done in accordance with Standards for Land Grading

- Install needed erosion control practices or facilities such as diversions, grade stabilization structures, channel stabilization measures, sediment basins, and waterways. See Standards 11 through 42.

2. Protective Materials

- Unrotted small-grain straw, at 2.0 to 2.5 tons per acre, is spread uniformly at 90 to 115 pounds per 1,000 square feet and anchored with a mulch anchoring tool, liquid mulch binders, or netting tie down. Other suitable materials may be used if approved by the Soil Conservation District. The approved rates above have been met when the mulch covers the ground completely upon visual inspection, i.e. the soil cannot be seen below the mulch.

- Synthetic or organic soil stabilizers may be used under suitable conditions and in quantities as recommended by the manufacturer.

- Wood-fiber or paper-fiber mulch at the rate of 1,500 pounds per acre (or according to the manufacturer's requirements) may be applied by a hydroseeder.

- Mulch netting, such as paper jute, excelsior, cotton, or plastic, may be used.

- Woodchips applied uniformly to a minimum depth of 2 inches may be used. Woodchips will not be used on areas where flowing water could wash them into an inlet and plug it.

- Gravel, crush stone, or slag at the rate of 9 cubic yards per 1,000 sq. ft. applied uniformly to a minimum depth of 3 inches may be used. Size 2 or 3 (ASTM C-33) is recommended.

- Mulch anchoring should be accomplished immediately after placement of hay or straw mulch to minimize loss by wind or water. This may be done by one of the following methods, depending upon the size of the area and steepness of slopes.
 - Peg and Drive - Drive 8 to 10 inch peg to within 2 to 3 inches of the soil surface every 4 feet in all directions. Stakes may be driven before or after applying mulch. Secure mulch to soil surface by stretching twine between pegs in a criss-cross and square pattern. Secure twine around each peg with two or more round turns.

- Mulch nettings - Staple paper, cotton, and plastic nettings over mulch. Use a erodeable netting in areas to be mowed. Netting is usually available in rolls 4 feet wide and 300 feet long.

- Crimper Mulch Anchoring Coupler Tool - A tractor-drawn implement especially designed to punch and anchor mulch into the soil surface. This practice affords maximum erosion control, but its use is limited to those slopes upon which the tractor can operate safely. Soil penetration should be about 3 to 4 inches. On sloping land, the operation should be on the contour.

- Liquid Mulch - Binders
 - Application should be heavier at edge where wind catches the mulch, in valleys, and at crests of banks. Remainder of area should be uniform in appearance.
 - Use one of the following:
 - Organic and Vegetable Based Binders - Naturally occurring, powder based hydrophilic material that mixed with water formulates a gel and when applied to mulch under satisfactory curing conditions will form membrane networks of insoluble polymers. The vegetable gel shall be physiologically harmless and not result in a phytotoxic effect of impede growth of turfgrass. Vegetable based gels shall be applied at rates and weather conditions recommended by the manufacturer.
 - Synthetic Binders - High polymer synthetic emulsion, miscible with water when diluted and following application to mulch, drying and curing shall no longer be soluble or dispersible in water. It shall be applied at rates and weather conditions recommended by the manufacturer and remain tacky until germination of grass.

- THE FREEHOLD SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.

- ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET CURRENT STATESOIL EROSION AND SEDIMENT CONTROL STANDARDS.

- N.J.S.A. 4:24-39 ET. SEQ. REQUIRES THAT NO CERTIFICATES OF OCCUPANCY BE ISSUED BEFORE THE DISTRICT DETERMINES THAT A PROJECT OR PORTION THEREOF IS IN FULL COMPLIANCE WITH THE CERTIFIED PLAN AND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL. IN NEW JERSEY AND A REPORT OF COMPLIANCE HAS BEEN ISSUED, UPON WRITTEN REQUEST FROM THE APPLICANT, THE DISTRICT MAY ISSUE A REPORT OF COMPLIANCE WITH CONDITIONS ON A LOT-BY-LOT OR SECTION-BY-SECTION BASIS, PROVIDED THAT THE PROJECT OR PORTION THEREOF IS IN SATISFACTORY COMPLIANCE WITH THE REQUIREMENTS OF DEVELOPMENT AND TEMPORARY MEASURES FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN IMPLEMENTED, INCLUDING PROVISIONS FOR STABILIZATION AND SITE WORK.

- ALL DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN FIFTEEN (15) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PERMITS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL, AT A RATE OF 2 TO 2 1/2 TONS PER ACRE, ACCORDING TO THE STANDARD FOR STABILIZATION WITH MULCH ONLY.

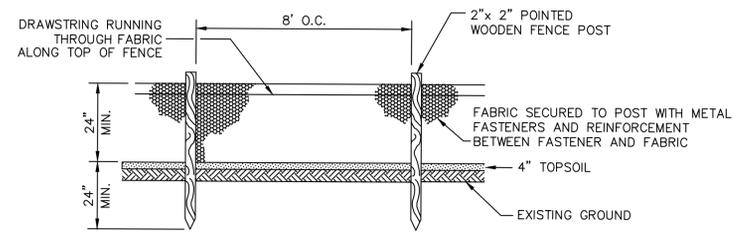
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. SOIL STOCKPILES, STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AND A MULCH ANCHOR, IN ACCORDANCE WITH STATE STANDARDS.

- A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF MEASURES TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN FIFTEEN (15) DAYS OF THE PRELIMINARY GRADING.

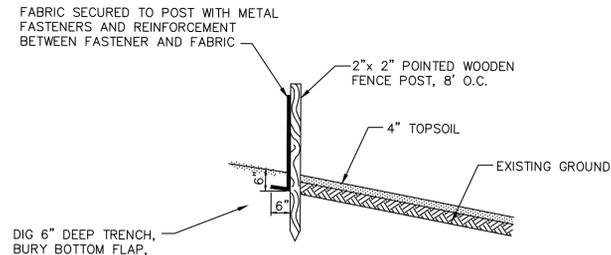
- THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A PAD OF CLEAN CRUSHED STONE AT POINTS WHERE TRAFFIC WILL BE ACCESSING THE CONSTRUCTION SITE. AFTER INTERIOR ROADWAYS ARE PAVED, INDIVIDUAL LOTS REQUIRE A STABILIZED CONSTRUCTION ACCESS CONSISTING OF ONE INCH TO TWO INCH (1"-2") STONE FOR A MINIMUM LENGTH OF TEN FEET (10') EQUAL TO THE LOT ENTRANCE WIDTH. ALL OTHER ACCESS POINTS SHALL BE BLOCKED OFF.

- ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUT

ENGINEERING INFRASTRUCTURE AND ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF ENGINEERING INFRASTRUCTURE.



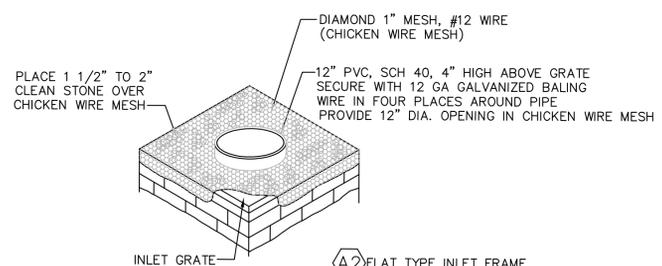
FRONT ELEVATION



SIDE ELEVATION

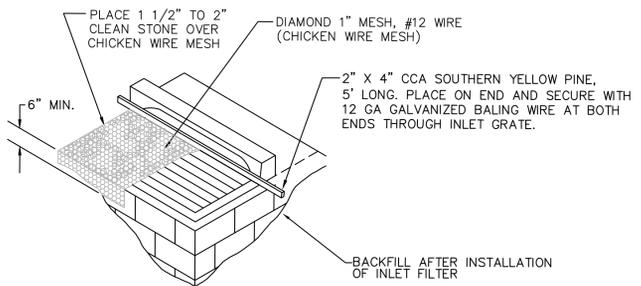
PLAN SYMBOL (C1)

SEDIMENT CONTROL FENCE
DETAIL (A)
NTS (SESC2)



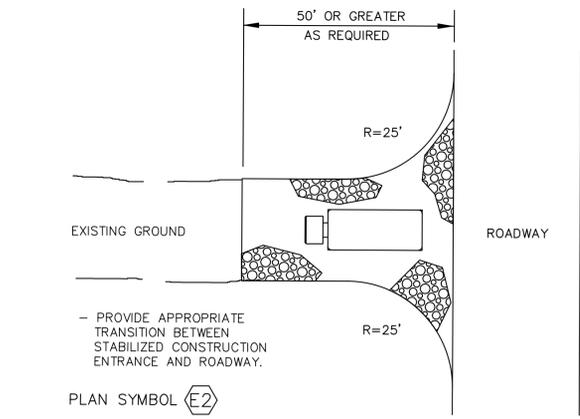
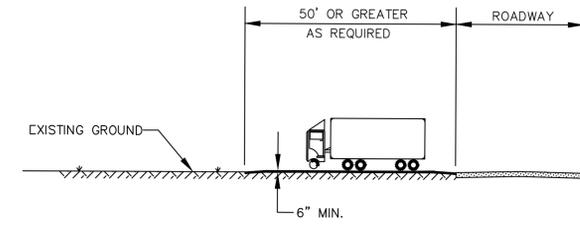
(A2) FLAT TYPE INLET FRAME

- GENERAL NOTES:**
- CONTRACTOR TO CLEAN INLET FILTER AFTER EVERY STORM.
 - FILTER FABRIC, WOOD PIECE OR PVC PIPE TO BE REMOVED AFTER PAVING OR FINAL GRADING AND ESTABLISHMENT OF VEGETATION.



(A1) CURB TYPE INLET FRAME

INLET FILTER PROTECTION
DETAIL (C)
NTS (SESC2)



PLAN SYMBOL (E2)

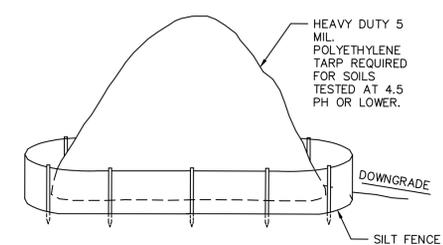
Stone Size - Use ASTM C-33, size No. 2 (2 1/2 to 1 1/2 in) or 3 (2 to 1 in). Use clean crushed angular stone. Crushed concrete of similar size may be substituted but will require more frequent upgrading and maintenance.

Table 29-1: Lengths of Construction Exits on Sloping Roadbeds

Percent Slope of Roadway	Length of Stone Required	
	Coarse Grained Soils	Fine Grained Soils
0 to 2%	50 Feet	100 Feet
2 to 5%	100 Feet	200 Feet
> 5%	Entire surface stabilized with Hot Mix Asphalt Base Course, Mix 1-2	

1. As prescribed by local ordinance or other governing authority.

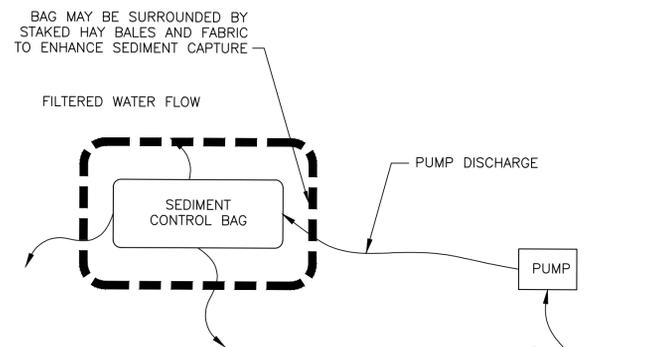
STABILIZED CONSTRUCTION ENTRANCE
DETAIL (B)
NTS (SESC2)



- NOTES:**
- ALL STOCKPILES SHALL NOT BE LOCATED WITHIN 50 FEET OF A FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITY.

TOPSOIL STOCKPILE
DETAIL (D)
NTS (SESC2)

SOIL EROSION AND SEDIMENT CONTROL DETAILS



- NOTES:**
- BAGS MUST BE LOCATED AWAY FROM RECEIVING WATERS AND/OR CONSTRUCTION ACTIVITIES.
 - BAGS MUST BE DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS. BAGS MAY NOT BE REUSED.

SEDIMENT CONTROL BAG FOR DEWATERING
DETAIL (E)
NTS (SESC2)

PROPOSED CONSTRUCTION SEQUENCE	APPROX. DURATION:
1. APPLICATION OF PROPER MEASURES FOR THE CONTROL OF SOIL EROSION & SEDIMENT CONTROL.	2 DAYS
2. CLEARING OF THE SITE (INCLUDING DEMOLITION OF STRUCTURES).	10 DAYS
3. TEMPORARY STABILIZATION OF AREAS INITIALLY DISTURBED. STABILIZATION TO BE ACCOMPLISHED BY USE OF TEMPORARY SEEDING AND/OR STRAW MULCHING OR EQUIVALENT MATERIAL AT A RATE OF TWO TONS PER ACRE, ACCORDING TO STATE STANDARDS.	1 DAYS
4. CONSTRUCT BUILDING AND RELATED APPURTENANCES.	180 DAYS
5. INSTALLATION OF STORMWATER SYSTEM.	15 DAYS
6. INSTALLATION OF CURB, SIDEWALK AND OTHER MATERIALS FOR ROADWAY CONSTRUCTION.	5 DAYS
7. INSTALLATION OF TOPSOILING, FERTILIZING, SEEDING, AND MULCHING.	1 DAYS
8. REMOVAL OF SOIL EROSION AND SEDIMENT CONTROL DEVICES AFTER ESTABLISHED VEGETATIVE GROWTH HAS OCCURRED.	1 DAYS

THE TOTAL ESTIMATED TIME OF CONSTRUCTION IS 215 DAYS*

* NOTE: PROPOSED CONSTRUCTION SEQUENCE IS PROVIDED FOR SOIL CONSERVATION DISTRICT USE ONLY.

TOTAL PROJECT DISTURBED AREA = 0.8397 ACRES
NO LAND DISTURBING CONSTRUCTION ACTIVITIES ARE TO OCCUR OUTSIDE THE INDICATED LIMITS OF DISTURBANCE.

- THE FREEHOLD SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.

FREEHOLD SOIL CONSERVATION DISTRICT
4000 KOZLOSKI RD
FREEHOLD, NJ 07728
TEL. (732)683-8500
- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION AND SEDIMENT CONTROL STANDARDS.
- N.J.S.A. 4:24-39 ET. SEQ. REQUIRES THAT NO CERTIFICATES OF OCCUPANCY BE ISSUED BEFORE THE DISTRICT DETERMINES THAT A PROJECT OR PORTION THEREOF IS IN FULL COMPLIANCE WITH THE CERTIFIED PLAN AND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY AND A REPORT OF COMPLIANCE HAS BEEN ISSUED. UPON WRITTEN REQUEST FROM THE APPLICANT, THE DISTRICT MAY ISSUE A REPORT OF COMPLIANCE WITH CONDITIONS ON A LOT-BY-LOT OR SECTION-BY-SECTION BASIS, PROVIDED THAT THE PROJECT OR PORTION THEREOF IS IN SATISFACTORY COMPLIANCE WITH THE SEQUENCE OF DEVELOPMENT AND TEMPORARY MEASURES FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN IMPLEMENTED, INCLUDING PROVISIONS FOR STABILIZATION AND SITE WORK.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN SIXTY (60) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF 2 TO 2 1/2 TONS PER ACRE, ACCORDING TO THE STANDARD FOR STABILIZATION WITH MULCH ONLY.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. SOIL STOCKPILES, STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AND A MULCH ANCHOR, IN ACCORDANCE WITH STATE STANDARDS.
- A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN FIFTEEN (15) DAYS OF THE PRELIMINARY GRADING.
- THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A PAD OF CLEAN CRUSHED STONE AT POINTS WHERE TRAFFIC WILL BE ACCESSING THE CONSTRUCTION SITE. AFTER INTERIOR ROADWAYS ARE PAVED, INDIVIDUAL LOTS REQUIRE A STABILIZED CONSTRUCTION ACCESS CONSISTING OF ONE INCH TO TWO INCH (1" - 2") STONE FOR A MINIMUM LENGTH OF TEN FEET (10') EQUAL TO THE LOT ENTRANCE WIDTH. ALL OTHER ACCESS POINTS SHALL BE BLOCKED OFF.
- ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAYS WILL BE REMOVED IMMEDIATELY.
- PERMANENT VEGETATION IS TO BE SEEDING OR SODDING ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING.
- AT THE TIME THAT SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
- IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE ULTIMATELY PLACED OR BURIED WITH LIMESTONE APPLIED AT THE RATE OF 8 TONS/ACRE, (OR 450LBS/1,000 SQ FT OF SURFACE AREA) AND COVERED WITH A MINIMUM OF 12" OF SETTLED SOIL WITH A PH OF 5 OR MORE, OR 24" WHERE TREES OR SHRUBS ARE TO BE PLANTED.
- CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
- UNFILTERED DEWATERING IS NOT PERMITTED. NECESSARY PRECAUTIONS MUST BE TAKEN DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH THE STANDARD FOR DEWATERING.
- SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET. TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED AS REQUIRED BY THE STANDARD FOR DUST CONTROL.
- STOCKPILE AND STAGING LOCATIONS ESTABLISHED IN THE FIELD SHALL BE PLACED WITHIN THE LIMIT OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN. STAGING AND STOCKPILES NOT LOCATED WITHIN THE LIMIT OF DISTURBANCE WILL REQUIRE CERTIFICATION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN. CERTIFICATION OF A NEW SOIL EROSION AND SEDIMENT CONTROL PLAN MAY BE REQUIRED FOR THESE ACTIVITIES IF AN AREA GREATER THAN 5,000 SQUARE FEET IS DISTURBED.
- ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #6.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.

REV. NO.	DATE	DRWN	CHKD	REMARKS
1	7/7/20	PAS	JJF	REVISED PLANS AS PER BOARD ENGINEER'S COMMENTS

DESIGNED BY: PAS
DRAWN BY: PAS
SHEET CHK'D BY: JJF
CROSS CHK'D BY:
APPROVED BY:
DATE: OCTOBER 25, 2019

ENGINEERING INFRASTRUCTURE
2 BRIDGE AVENUE, SUITE 323
RED BANK, NJ 07701
732.741.3176
ENGINEERINGNJ.COM

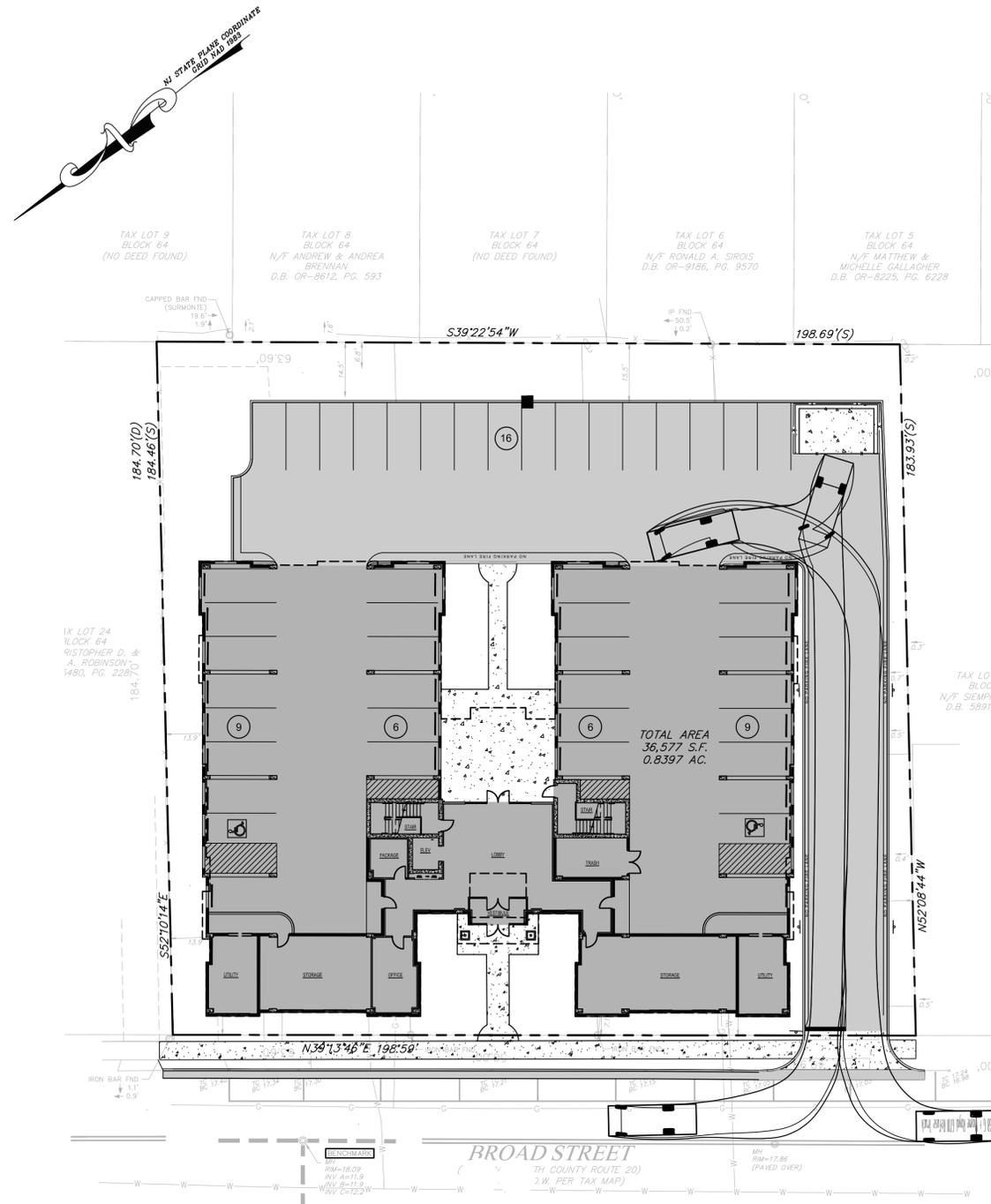
SOIL EROSION AND SEDIMENT CONTROL DETAILS
TAX BLOCK 64
LOTS 2 & 3
BOROUGH OF MANASQUAN
MONMOUTH COUNTY, NEW JERSEY

OWNER / DEVELOPER / APPLICANT:
BROAD STREET 34, LLC
126 MAIN STREET
MANASQUAN, NJ 08736
PHONE: (732) 522-0197

JACLYN J. FLOR, P.E., P.P., C.M.E.
CONSULTING ENGINEER
Jaclyn J. Flor
LICENSED PROFESSIONAL ENGINEER
STATE OF NJ LICENSE NO. 24GE045426
CERTIFICATE OF AUTHORIZATION 24GA28268000
DATE: 10/25/19

PROJECT NO. SEPE-00020
DRAWING
SESC-2
SHEET NO.
10 OF 10

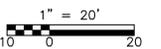
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GENERAL NOTE:

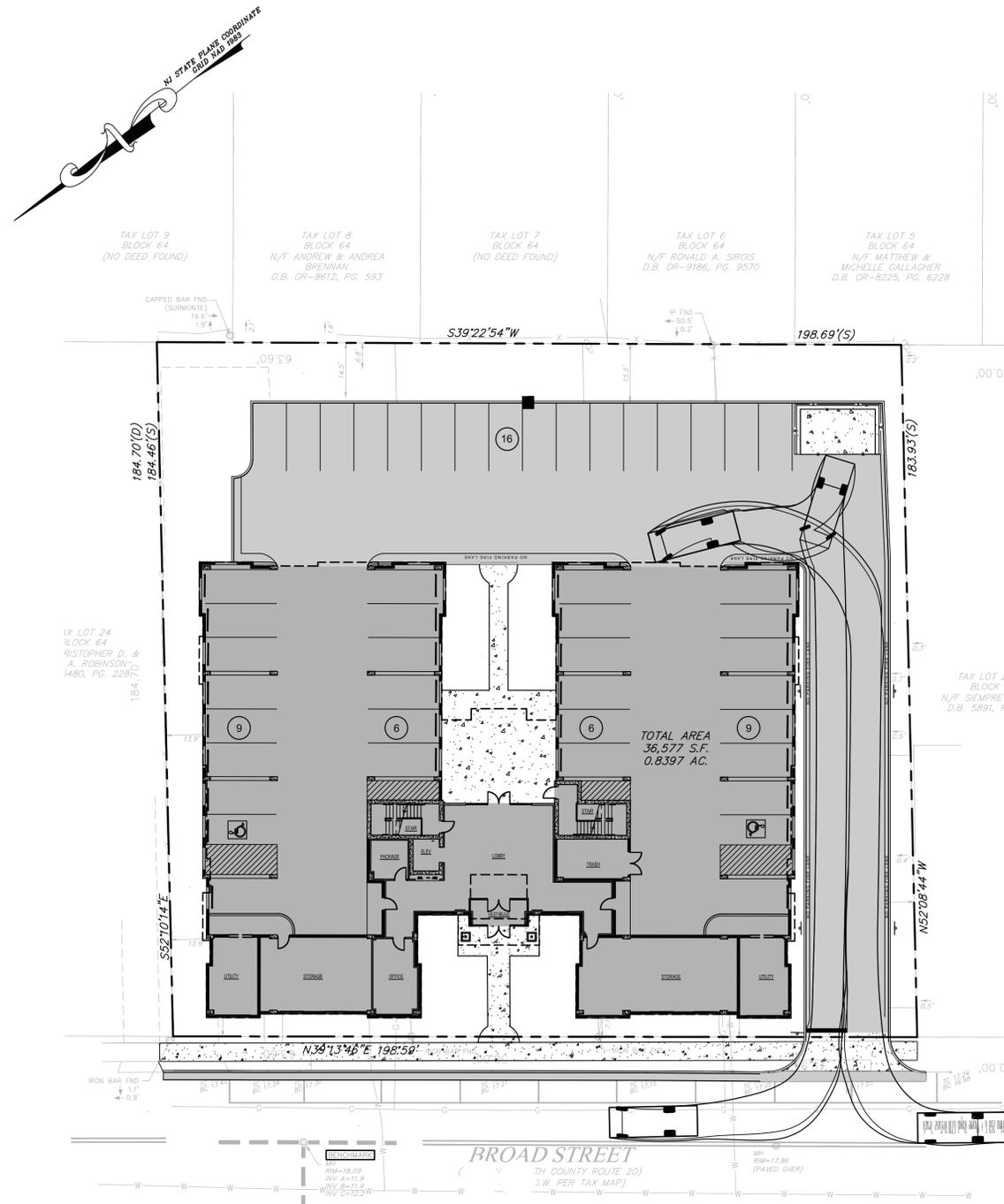
1. THIS TURNING TEMPLATE REPRESENTS A 23' - 5 3/4" LONG REAR LOADING REFUSE VEHICLE WHICH IS DETERMINED TO BE THE CRITICAL DESIGN VEHICLE FOR THIS SITE AND ALL OTHERS VEHICLES ENTERING WILL BE SMALLER.

TURNING TEMPLATE EXHIBIT-1



				DESIGNED BY: PAS	 <p>ENGINEUTY INFRASTRUCTURE</p>	<p>ENGINEUTY INFRASTRUCTURE 2 BRIDGE AVENUE, SUITE 323 RED BANK, NJ 07701 732.741.3176 ENGINEUTY.NJ.COM</p>	<p>TURNING TEMPLATE EXHIBIT TAX BLOCK 64 LOTS 25.01, 25.02, 26 & 27 BOROUGH OF MANASQUAN MONMOUTH COUNTY, NEW JERSEY</p>	<p>OWNER / DEVELOPER / APPLICANT: BROAD STREET 34, LLC 126 MAIN STREET MANASQUAN, NJ 08736 PHONE: (732) 522-0197</p>	<p>JACLYN J. FLOR, P.E., P.P., C.M.E. CONSULTING ENGINEER</p>  <p>LICENSED PROFESSIONAL ENGINEER STATE OF NJ LICENSE NO. 24GE045426 CERTIFICATE OF AUTHORIZATION 24GA28268000</p>	<p>PROJECT NO. SEPE-00020</p> <p>DRAWING EX-3</p> <p>SHEET NO. 1 OF 1</p>
				DRAWN BY: PAS						
				CROSS CHK'D BY: JJF						
				APPROVED BY: _____ DATE: MARCH 17, 2020						
REV. NO.	DATE	DRWN	CHKD	REMARKS						
1	7/7/20	PAS	JJF	REVISED PLANS AS PER BOARD ENGINEER'S COMMENTS						

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GENERAL NOTE:

1. THIS TURNING TEMPLATE REPRESENTS A 23' - 5 3/4" LONG REAR LOADING REFUSE VEHICLE WHICH IS DETERMINED TO BE THE CRITICAL DESIGN VEHICLE FOR THIS SITE AND ALL OTHERS VEHICLES ENTERING WILL BE SMALLER.

TURNING TEMPLATE EXHIBIT-1



REV. NO.	DATE	DRWN	CHKD	REMARKS
1	7/7/20	PAS	JJF	REVISED PLANS AS PER BOARD ENGINEER'S COMMENTS

DESIGNED BY: PAS
 DRAWN BY: PAS
 SHEET CHK'D BY: JJF
 CROSS CHK'D BY:
 APPROVED BY:
 DATE: MARCH 17, 2020



ENGINEUTY INFRASTRUCTURE
 2 BRIDGE AVENUE, SUITE 323
 RED BANK, NJ 07701
 732.741.3176
 ENGINEUTY.NJ.COM

TURNING TEMPLATE EXHIBIT
 TAX BLOCK 64
 LOTS 25.01, 25.02, 26 & 27
 BOROUGH OF MANASQUAN
 MONMOUTH COUNTY, NEW JERSEY

OWNER / DEVELOPER / APPLICANT:
BROAD STREET 34, LLC
 126 MAIN STREET
 MANASQUAN, NJ 08736
 PHONE: (732) 522-0197

JACLYN J. FLOR, P.E., P.P., C.M.E.
 CONSULTING ENGINEER

 LICENSED PROFESSIONAL ENGINEER
 STATE OF NJ LICENCE NO. 24GE045426
 CERTIFICATE OF AUTHORIZATION 24GA28268000
 DATE: 03/17/2020

PROJECT NO. SEPE-00020
 DRAWING EX-3
 SHEET NO. 1 OF 1

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EXHIBIT PLAN 1

REV. NO.	DATE	DRWN	CHKD	REMARKS

DESIGNED BY: PAS
 DRAWN BY: PAS
 SHEET CHK'D BY: JJF
 CROSS CHK'D BY:
 APPROVED BY:
 DATE: SEPTEMBER 16, 2020



ENGENUITY INFRASTRUCTURE
 2 BRIDGE AVENUE, SUITE 323
 RED BANK, NJ 07701
 732.741.3176
 ENGENUITYNJ.COM

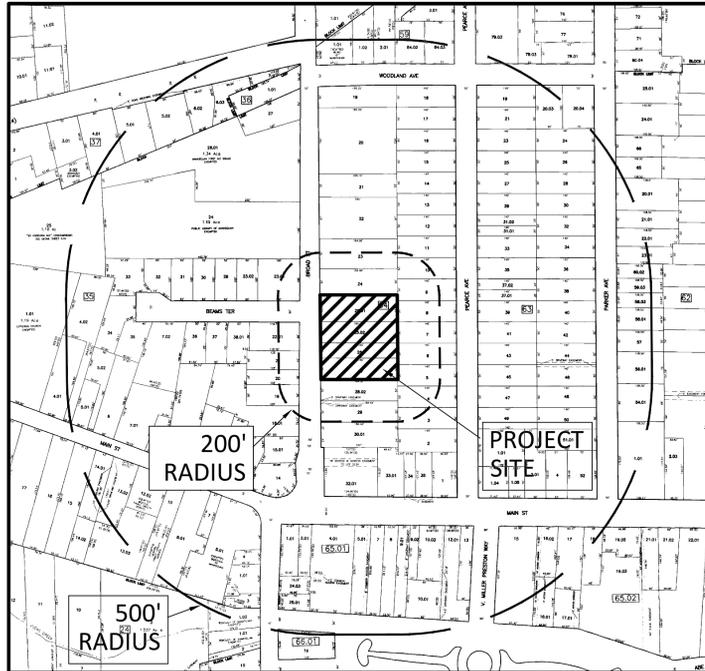
EXHIBIT PLAN 1
 TAX BLOCK 64
 LOTS 25.01, 25.02, 26 & 27
 BOROUGH OF MANASQUAN
 MONMOUTH COUNTY, NEW JERSEY

OWNER / DEVELOPER / APPLICANT:
BROAD STREET 34, LLC
 128 MAIN STREET
 MANASQUAN, NJ 08736
 PHONE: (732) 522-0197

JACLYN J. FLOR, P.E., P.P., C.M.E.
 CONSULTING ENGINEER

 LICENSED PROFESSIONAL ENGINEER
 STATE OF NJ LICENCE NO. 24GE045426
 CERTIFICATE OF AUTHORIZATION 24GA28268000
 DATE: 09/16/2020

PROJECT NO. SEPE-00020
 DRAWING EX-1
 SHEET NO. 1 OF 2



KEY MAP
SHEETS 3, 5, 11 & 12
SCALE 1"=200'

200' PROPERTY OWNERS LIST:

Block	Lot	Owner Complete Name	Property Address	Mailing Street	Mailing City, State, Zip Code
35	19	BOSSONE, DOMINIC J	25 BROAD ST	713 HOWELL DR	BRIELLE, NJ 087301429
35	20	HOVERTER, TERENCE F & CHRISTINA M	27 BROAD ST	27 BROAD ST	MANASQUAN, NJ 087362906
35	21	STUDICK, ROSEMARY & O'TOOLE, DARREN	35-35-1/2 BROAD ST	1312 ATLANTIC AVE	MANASQUAN, NJ 08736
35	22.01	PARELL, ANNA MARIE	39 BROAD ST	39 BROAD ST	MANASQUAN, NJ 087362906
35	23.01	JAWIDZIK, WALTER&PIGNATELLI, LORRAINE	9-51 BROAD ST	49 BROAD ST	MANASQUAN, NJ 08736
35	23.02	ZUPKO, DAVID A	10 BEAMS TER	10 BEAMS TER	MANASQUAN, NJ 08736
35	24	PUBLIC LIBRARY OF MANASQUAN	55 BROAD ST	55 BROAD ST	MANASQUAN, NJ 087362930
63	38.01	TURNBACH, JEROME J & AIMEE R	7 BEAMS TER	7 BEAMS TER	MANASQUAN, NJ 087362905
63	35	BRASH, PHILIP & LAURA	46 PEARCE AVE	46 PEARCE AVE	MANASQUAN, NJ 087363009
63	37.01	PLACE, HAROLD D III & LISA M	38 PEARCE AVE	38 PEARCE AVE	MANASQUAN, NJ 087363009
63	41	DARA TA, JANNE	34 PEARCE AVE	34 PEARCE AVE	MANASQUAN, NJ 087363009
64	43	BATE, WILLIAM J & DONNA W	30 PEARCE AVE	30 PEARCE AVE	MANASQUAN, NJ 087363009
64	4	LAVALLA, JAMES J JR	21 PEARCE AVE	21 PEARCE AVE	MANASQUAN, NJ 08736
64	5	GALLAGHER, MATTHEW & MICHELLE	25 PEARCE AVE	25 PEARCE AVE	MANASQUAN, NJ 087363008
64	6	BROWN, DUSTIN C & JESSICA L	29 PEARCE AVE	29 PEARCE AVE	MANASQUAN, NJ 087363008
64	7	SERRATELLI, ARCHIBALD A JR & JOAN D	33 PEARCE AVE	33 PEARCE AVE	MANASQUAN, NJ 087363008
64	8	BRENNAN, ANDREW & ANDREA	37-37-1/2 PEARCE AVE	37 PEARCE AVE	MANASQUAN, NJ 087363008
64	9	WALTSK, ANNE C	39 PEARCE AVE	39 PEARCE AVE	MANASQUAN, NJ 087363008
64	10	ENERSON, DOROTHY	43 PEARCE AVE	43 PEARCE AVE	MANASQUAN, NJ 087363008
64	11	WHITE, JOHN F JR & DIANA M	49 PEARCE AVE	49 PEARCE AVE	MANASQUAN, NJ 087363008
64	12	CARTER, JOANNE M	51 PEARCE AVE	51 PEARCE AVE	MANASQUAN, NJ 087363008
64	13	GUNSCH, THOMAS H & JANET R	57 PEARCE AVE	57 PEARCE AVE	MANASQUAN, NJ 087363008
64	22	FOUR S ASSOCIATES	58 BROAD ST	84 BROAD ST	MANASQUAN, NJ 087362907
64	23	54 BROAD ST, LLC C/O SHEKLIAN, MARK	54 BROAD ST	11 DRAWBRIDGE ST	MANASQUAN, NJ 087362943
64	24	ROBINSON, CHRISTOPHER D & TARA A	50-50-1/2 BROAD ST	50 BROAD ST	MANASQUAN, NJ 087362907
64	25.01	BRADENTON BCH DEVELOPMENT C/O SEPE	44 BROAD ST	12-1 OSBORN AVE	MANASQUAN, NJ 087362942
64	25.02	SEPE, WILLIAM B	40 BROAD ST	44 BROAD ST	MANASQUAN, NJ 087362907
64	26	SEPE, WILLIAM R	36 BROAD ST	12-1 OSBORN AVE	MANASQUAN, NJ 087362942
64	27	BRADENTON BEACH DEVELOPMENT, LLC	34 BROAD ST	126 MAIN ST	MANASQUAN, NJ 087363558
64	28.02	SIEMPRE MANANA LLC C/O LIBRIZZI	30 BROAD ST	276 E VIRGINIA AVE	MANASQUAN, NJ 087363618
64	29	24-26 BROAD STREET - MANASQUAN, LLC	24-26 BROAD ST	2135 BRIDGE AVE	POINT PLEASANT, NJ 08742

200' UTILITIES OWNERS LIST:

Jersey Central Power & Light Co Customer Service PO Box 16001 Reading, PA 19612-6001	NJ Natural Gas Company 1415 Wyckoff Rd PO Box Wall, NJ 1378 07715-0001	NJ American Water Company Attn: Corporate Secretary 131 Woodcrest Rd PO Box 5079 Cherry Hill, 5079 NJ 08034-5079	State of New Jersey Attn: Commissioner of Transportation Department of Transportation 1035 Parkway Ave Trenton, NJ Ave 08625-2309
Verizon PO Box 4833 Trenton, NJ 4833 08650-4833	Cablevision 1111 Stewart Ave. Bethpage, NY Ave 11714-3533	Monmouth County Highway Dep't. 250 Center St. Freehold, NJ St 07728-2465	

APPROVED AS A MAJOR SITE PLAN BY
THE MANASQUAN BOROUGH PLANNING BOARD
ON _____

CHAIRPERSON _____ DATE _____

ATTEST:

SECRETARY _____ DATE _____

I HAVE REVIEWED THIS SITE PLAN AND CERTIFY THAT IT MEETS ALL
CODES AND ORDINANCES UNDER MY JURISDICTION.

BOROUGH ENGINEER _____ DATE _____

I HEREBY CERTIFY THAT ALL THE REQUIRED IMPROVEMENTS HAVE
BEEN INSTALLED OR A POND POSTED IN COMPLIANCE WITH ALL
APPLICABLE CODES AND ORDINANCES

BOROUGH ENGINEER _____ DATE _____

BOROUGH CLERK _____ DATE _____

BUILDING PERMIT ISSUED _____ DATE _____

PROPOSED BUILDING FOR: BROAD STREET 34, LLC

34, 36, 40 & 44 BROAD STREET, MANASQUAN, NJ

TAX MAP SHEET 11 DATED JAN. 2006

BLOCK 64 LOTS 25.01, 25.02, 26 & 27

ZONE AR-1

MAJOR SITE PLAN

OCTOBER 25, 2019

OWNER/APPLICANT/DEVELOPER:

BROAD STREET 34, LLC
126 MAIN STREET
MANASQUAN, NJ 08736
PHONE:(732) 522-0197

ENGINEER:

ENGENUITY INFRASTRUCTURE, LLC
JACLYN J. FLOR, PE, PP, CME
NJ PE# 24GE04542600
NJ PP# 33LI00592000
2 BRIDGE AVENUE, SUITE 323
RED BANK, NJ 07701
PHONE: (732)741-3176
JFLOR@ENGENUITYNJ.COM

ATTORNEY:

GIORDANO, HALLERAN & CIESLA
ATTORNEYS AT LAW
JOHN A. SARTO, ESQ.
125 HALF MILE ROAD
SUITE 300
RED BANK, NJ 07701-6777
PHONE: (732) 219-5496

GENERAL NOTES:

- ALL WORK TO CONFORM WITH THE LATEST EDITION OF THE FOLLOWING:
-NJDOT SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
-MONMOUTH COUNTY DESIGN STANDARDS
-MUNICIPAL DESIGN STANDARDS
-CURRENT MANUFACTURERS SPECIFICATIONS, STANDARDS, AND REQUIREMENTS
-CURRENT, PREVAILING UTILITY COMPANY OR AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS
- ALL BARRIER FREE CONSTRUCTION TO BE IN ACCORDANCE WITH THE NJ UNIFORM CONSTRUCTION CODE, SUBCHAPTER 7: BARRIER FREE SUBCODE & ADA REQUIREMENTS AS NECESSARY.
- CONTRACTOR IS RESPONSIBLE FOR ALL WORKER SAFETY, TRAINING, AND SAFETY DEVICE USAGE FOR AND DURING THE CONSTRUCTION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.
- THE CONTRACTOR IS DESIGNATED AS RESPONSIBLE PARTY DURING CONSTRUCTION OF THE IMPROVEMENTS HEREON. AS SUCH, CONTRACTOR WILL PROVIDE ADEQUATE SAFETY TRAINING, EQUIPMENT AND OVERSIGHT.
- CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND APPROVALS FOR CONSTRUCTION OF THE DEPICTED SITE IMPROVEMENTS.
- ALL DISTURBED AREAS ON SITE TO BE STABILIZED IN ACCORDANCE WITH THE FREEHOLD SOIL CONSERVATION DISTRICT STANDARDS.
- ALL AREAS NOT COVERED BY IMPERVIOUS SURFACE SHALL BE SEEDED OR OTHERWISE STABILIZED IN ACCORDANCE WITH SOIL EROSION CONTROL SPECIFICATIONS SET FORTH IN THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, 7TH EDITION, REVISED JULY 2017.
- THE NEW JERSEY CALL SYSTEM SHOULD BE CONTACTED PRIOR TO EXCAVATION ON-SITE OR WITHIN R.O.W. (800) 272-1000
- ALL UTILITY CONNECTIONS AND RELOCATIONS ARE SHOWN SCHEMATICALLY. THE CONTRACTOR SHALL CONTACT AND COORDINATE WITH EACH UTILITY COMPANY TO PROVIDE THE MOST APPROPRIATE LOCATION FOR UTILITY CONNECTIONS AND/OR RELOCATIONS.
- EXISTING SITE AND UTILITY INFORMATION SHOWN ON THIS PLAN HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS.
- ALL TRAFFIC SIGNS AND STRIPING SHALL CONFORM WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ANY DAMAGE TO EXISTING STRUCTURES AS A RESULT OF THIS DEVELOPMENT, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR.
- CONCRETE SHALL BE NJDOT CLASS "B" UNLESS OTHERWISE STATED HEREON OR WITHIN THE CONSTRUCTION DETAILS.
- ALL IMPROVEMENTS SHOWN HEREON "TO BE REMOVED" SHALL BE DISPOSED OF IN A MANNER NOT CONTRARY TO LOCAL OR STATE ORDINANCES.
- CONTRACTOR TO NOTIFY THE UNDERSIGNED PROFESSIONAL IF FIELD CONDITIONS VARY FROM THAT WHICH IS SHOWN HEREON.
- THIS PLAN SET HAS BEEN PREPARED FOR MUNICIPAL AND AGENCY APPROVALS. THIS PLAN NOT TO BE UTILIZED FOR CONSTRUCTION UNTIL MARKED "FOR CONSTRUCTION".
- SURVEY INFORMATION SHOWN HEREON TAKEN FROM A PLAN ENTITLED "BOUNDARY & TOPOGRAPHICAL, TAX LOTS 25.01, 25.02, 26 & 27" PREPARED BY DPK CONSULTING DATED AUGUST 9, 2018.
- EXISTING UTILITY CONNECTIONS TO BE UTILIZED WHERE FEASIBLE & APPROVED BY UTILITY AUTHORITY.
- ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT A.D.A. STANDARDS, AS APPLICABLE.
- ALL CURB, SIDEWALK AND PAVEMENT SHALL BE RESTORED TO THE SATISFACTION OF THE BOARD'S ENGINEER.

PLAN INDEX

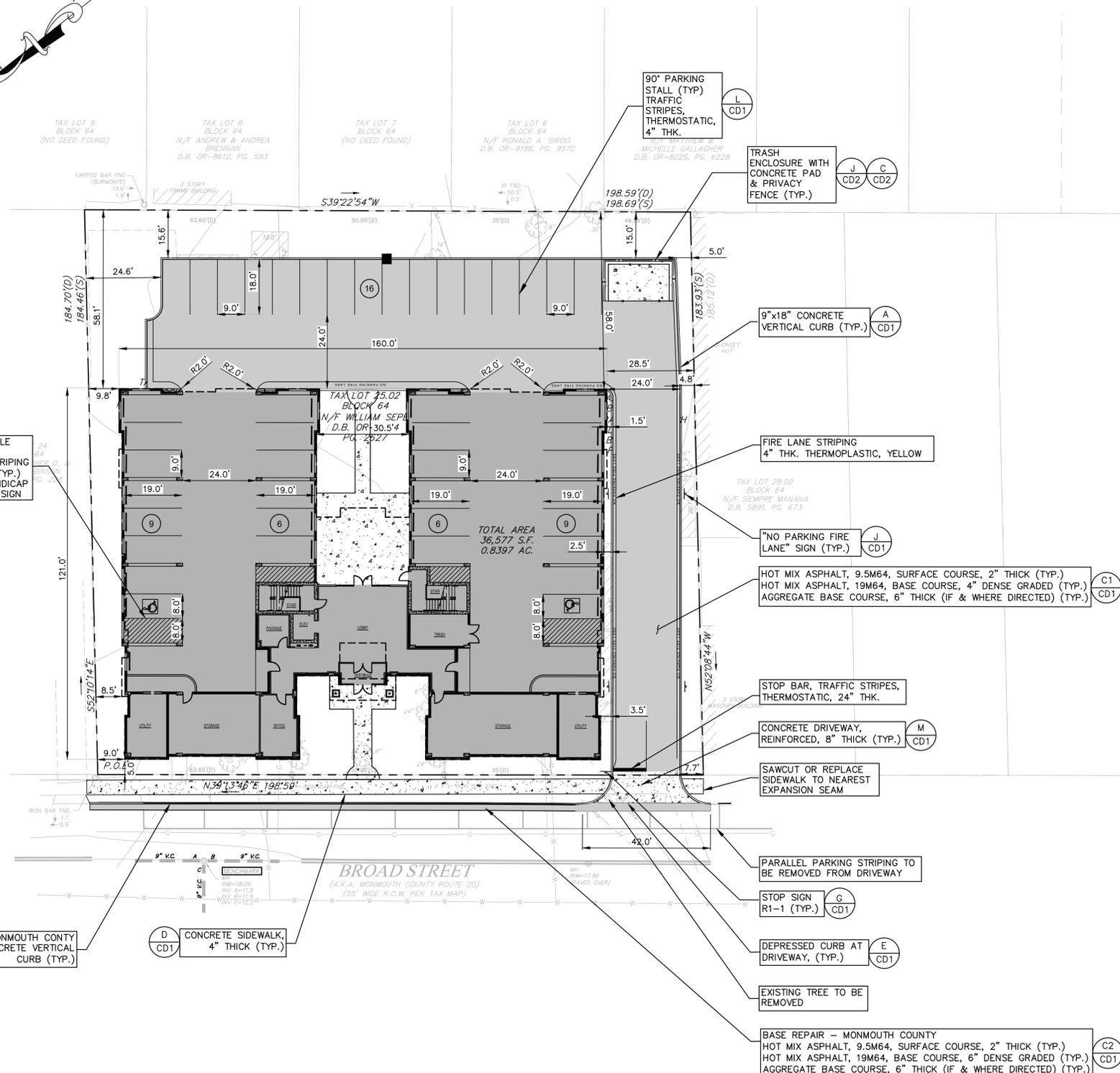
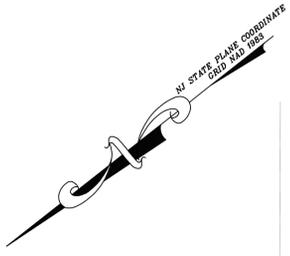
1 OF 10 T-1
2 OF 10 CP-1
3 OF 10 GR/SE-1

4 OF 10 LS-1
5 OF 10 LI-1
6 OF 10 CD-1
7 OF 10 CD-2
8 OF 10 CD-3
9 OF 10 SESC-1
10 OF 10 SESC-2

TITLE SHEET
SITE PLAN
GRADING PLAN / SOIL EROSION AND SEDIMENT CONTROL PLAN
LANDSCAPE PLAN
LIGHTING PLAN
CONSTRUCTION DETAILS
CONSTRUCTION DETAILS
CONSTRUCTION DETAILS
SOIL EROSION AND SEDIMENT CONTROL NOTES
SOIL EROSION AND SEDIMENT CONTROL DETAILS

PROJECT NO. SEPE-00020
DRAWING T-1
SHEET NO. 1 OF 10

ENGINEUTY INFRASTRUCTURE AND ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF ENGINEUTY INFRASTRUCTURE.



GENERAL NOTES:

1. SURVEY INFORMATION SHOWN HEREON BASED ON A PLAN ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY, TAX LOTS 25.01, 25.02, 26, & 27" PREPARED BY DPK CONSULTING DATED AUGUST 9, 2018
2. ENGINEUTY INFRASTRUCTURE MAKES NO GUARANTEES THAT THE UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. ENGINEUTY INFRASTRUCTURE FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ENGINEUTY INFRASTRUCTURE HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES IN THE FIELD PRIOR TO EXCAVATION. THE CONTRACTOR SHALL ALSO BE REQUIRED TO CALL FOR A MARK-OUT PRIOR TO ANY WORK.
3. PREMISES ARE COMMONLY KNOWN AS 34-44 BROAD STREET, MANASQUAN BOROUGH, MONMOUTH COUNTY, NEW JERSEY.
4. PREMISES ARE ALSO KNOWN AS BLOCK 64, LOTS 25.01, 25.02, 26, AND 27 AS SHOWN ON THE OFFICIAL TAX MAPS OF THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY.
5. ALL PROPOSED IMPROVEMENTS SHALL BE A.D.A. COMPLIANT, WHERE APPLICABLE.
6. IF THIS DOCUMENT DOES NOT CONTAIN A RAISED SEAL OF THE UNDERSIGNED PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT.
7. THE LAYOUT AND DESIGN ARE SUBJECT TO FURTHER MODIFICATION TO COMPLY WITH APPROVALS FROM AGENCIES HAVING JURISDICTION OVER THE SITE.
8. ALL NEW UTILITIES ARE PROPOSED TO BE LOCATED UNDERGROUND.

LEGEND

- PRINCIPAL & ACCESSORY STRUCTURES
- NEW CONCRETE
- FULL DEPTH PAVEMENT

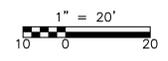
ZONE AR-1 (AFFORDABLE HOUSING)

REQUIREMENT	REQUIRED	PROPOSED	VARIANCE
MINIMUM LOT SIZE	36,000 sf	36,577 sf	
MINIMUM LOT FRONTAGE	190'	198.5'	
MINIMUM LOT DEPTHS	180'	183.9'	
MINIMUM FRONT YARD SETBACK	5'	5'	
MINIMUM SIDE YARD SETBACK (ONE)	6'	8.5'	
MINIMUM SIDE YARD SETBACK (BOTH)	20'	37.0'	
MINIMUM REAR YARD SETBACK	50'	58'	
MAXIMUM BUILDING HEIGHT - FEET	40'	40'	
MAXIMUM BUILDING HEIGHT - STORIES	3 1/2-Story	3 1/2-Story	
MAXIMUM BUILDING COVERAGE	50%	44%	
MAXIMUM FAR	1.5	1.35	
MAXIMUM LOT COVERAGE	80%	75%	
MAXIMUM BUILDING WIDTH	160'	160'	
MINIMUM PARKING SETBACK (SIDE)	5'	24.6'	
MINIMUM PARKING SETBACK (REAR)	15'	15'	
MINIMUM DRIVE AISLE SETBACK (SIDE)	4'	4.8'	
MINIMUM PARKING SPACES (RATIO)	2.0/unit	2.09/unit	
MINIMUM PARKING SPACES (NUMBER)	45	46	

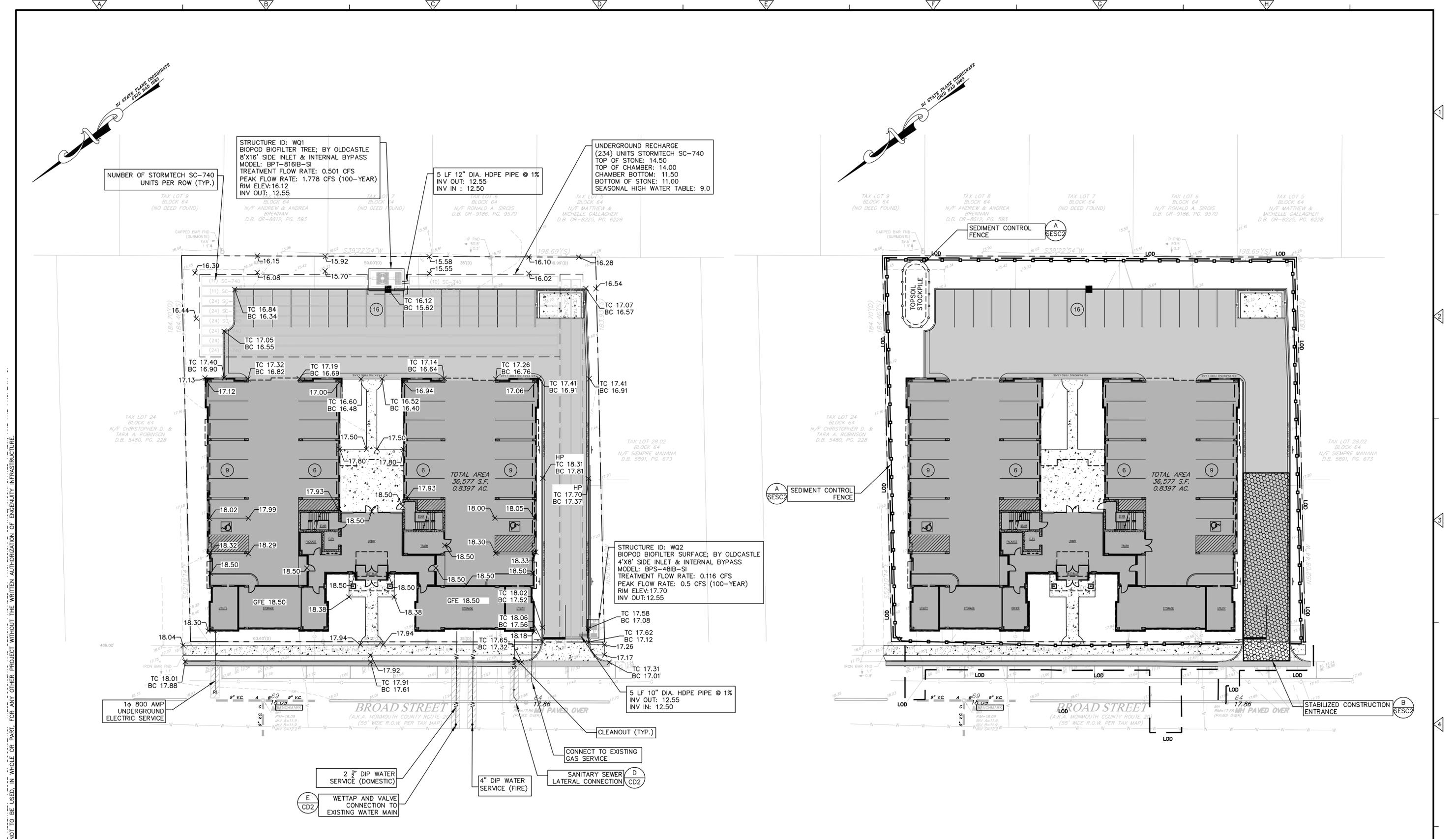
RESIDENTIAL SITE IMPROVEMENT STANDARDS OFF-STREET PARKING SUMMARY

CATAGORY	PARKING REQUIREMENT	PARKING CALCULATION	TOTAL
Residential, 2-Bedroom	2.0 Spaces per Unit	14 Units x 2.0 =	28.0
Residential, 3-Bedroom	2.1 Spaces per Unit	8 Units x 2.1 =	16.8
			44.8
Total Off-Street Parking Required =			45

SITE PLAN

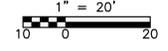


DESIGNED BY: PAS	DRAWN BY: PAS	CROSS CHK'D BY: JJF	APPROVED BY: PAS	DATE: OCTOBER 25, 2019	 ENGINEUTY INFRASTRUCTURE		ENGINEUTY INFRASTRUCTURE 2 BRIDGE AVENUE, SUITE 323 RED BANK, NJ 07701 732.741.3176 ENGINEUTY.NJ.COM		SITE PLAN TAX BLOCK 64 LOTS 25.01, 25.02, 26 & 27 BOROUGH OF MANASQUAN MONMOUTH COUNTY, NEW JERSEY		OWNER / DEVELOPER / APPLICANT: BROAD STREET 34, LLC 126 MAIN STREET MANASQUAN, NJ 08736 PHONE: (732) 522-0197		JACLYN J. FLOR, P.E., P.P., C.M.E. CONSULTING ENGINEER LICENSED PROFESSIONAL ENGINEER STATE OF NJ LICENCE NO. 24GE045426 CERTIFICATE OF AUTHORIZATION 24GA28268000		PROJECT NO. SEPE-00020 DRAWING CP-1 SHEET NO. 2 OF 10	
REV. NO.	DATE	DRWN	CHKD	REMARKS												
1	7/7/20	PAS	JJF	REVISED PLANS AS PER BOARD ENGINEER'S COMMENTS												



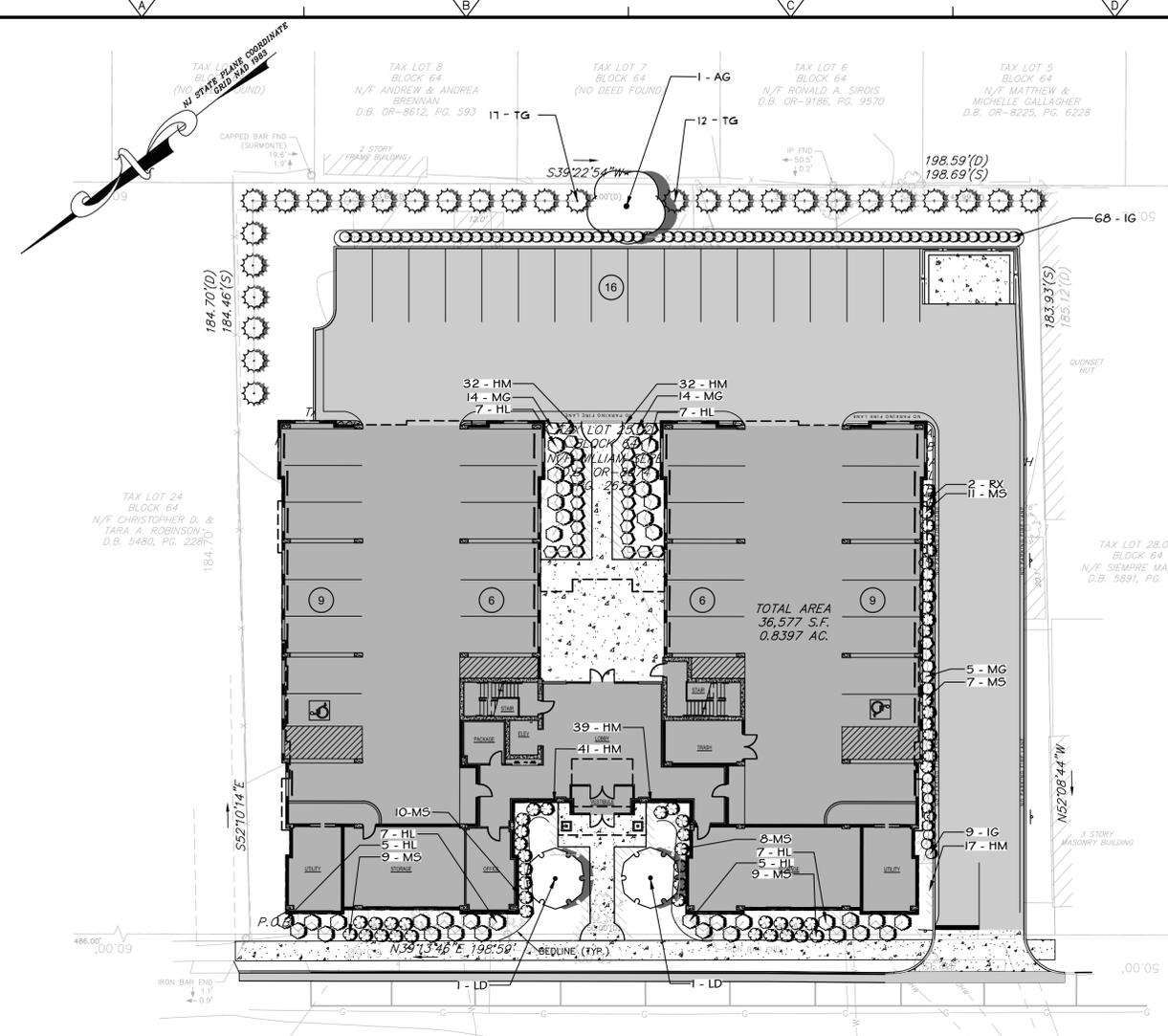
GRADING & UTILITY PLAN

SESC PLAN

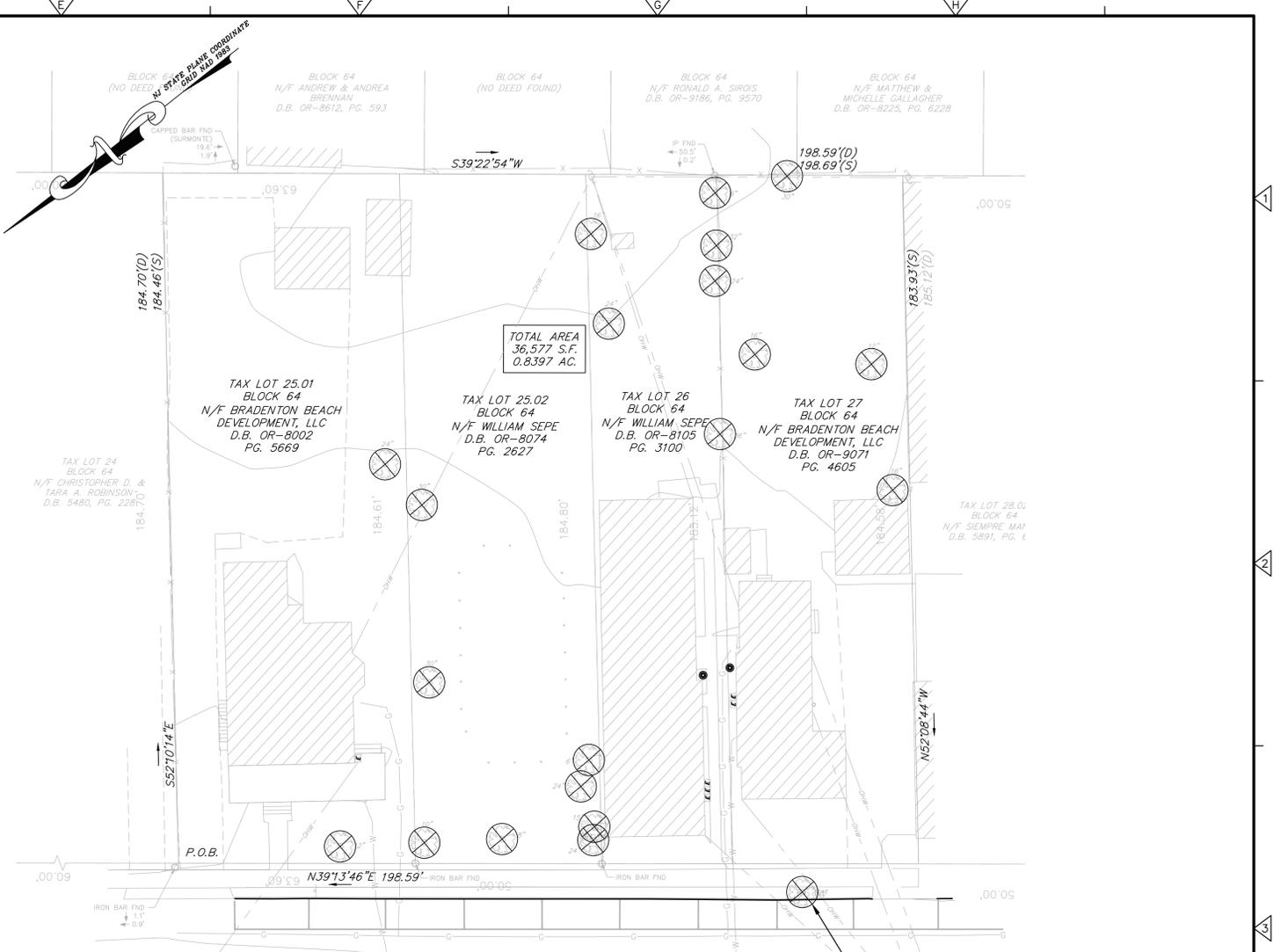


DESIGNED BY: PAS DRAWN BY: PAS SHEET CHK'D BY: JJF CROSS CHK'D BY: APPROVED BY: DATE: OCTOBER 25, 2019				ENGUENITY INFRASTRUCTURE 2 BRIDGE AVENUE, SUITE 323 RED BANK, NJ 07701 732.741.3176 ENGUENITYNJ.COM		GRADING AND SESC PLAN TAX BLOCK 64 LOTS 25.01, 25.02, 26 & 27 BOROUGH OF MANASQUAN MONMOUTH COUNTY, NEW JERSEY		OWNER / DEVELOPER / APPLICANT: BROAD STREET 34, LLC 126 MAIN STREET MANASQUAN, NJ 08736 PHONE: (732) 522-0197		JACLYN J. FLOR, P.E., P.P., C.M.E. CONSULTING ENGINEER LICENSED PROFESSIONAL ENGINEER STATE OF NJ LICENCE NO. 24GE045426 CERTIFICATE OF AUTHORIZATION 24GA28268000		PROJECT NO. SEPE-00020 DRAWING GR/SE-1 SHEET NO. 3 OF 10	
1	7/7/20	MJB	JJF	REVISED PLANS AS PER BOARD ENGINEER'S COMMENTS									
REV. NO.	DATE	DRWN	CHKD	REMARKS									

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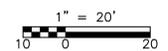
LANDSCAPE PLAN



TREE REMOVAL PLAN

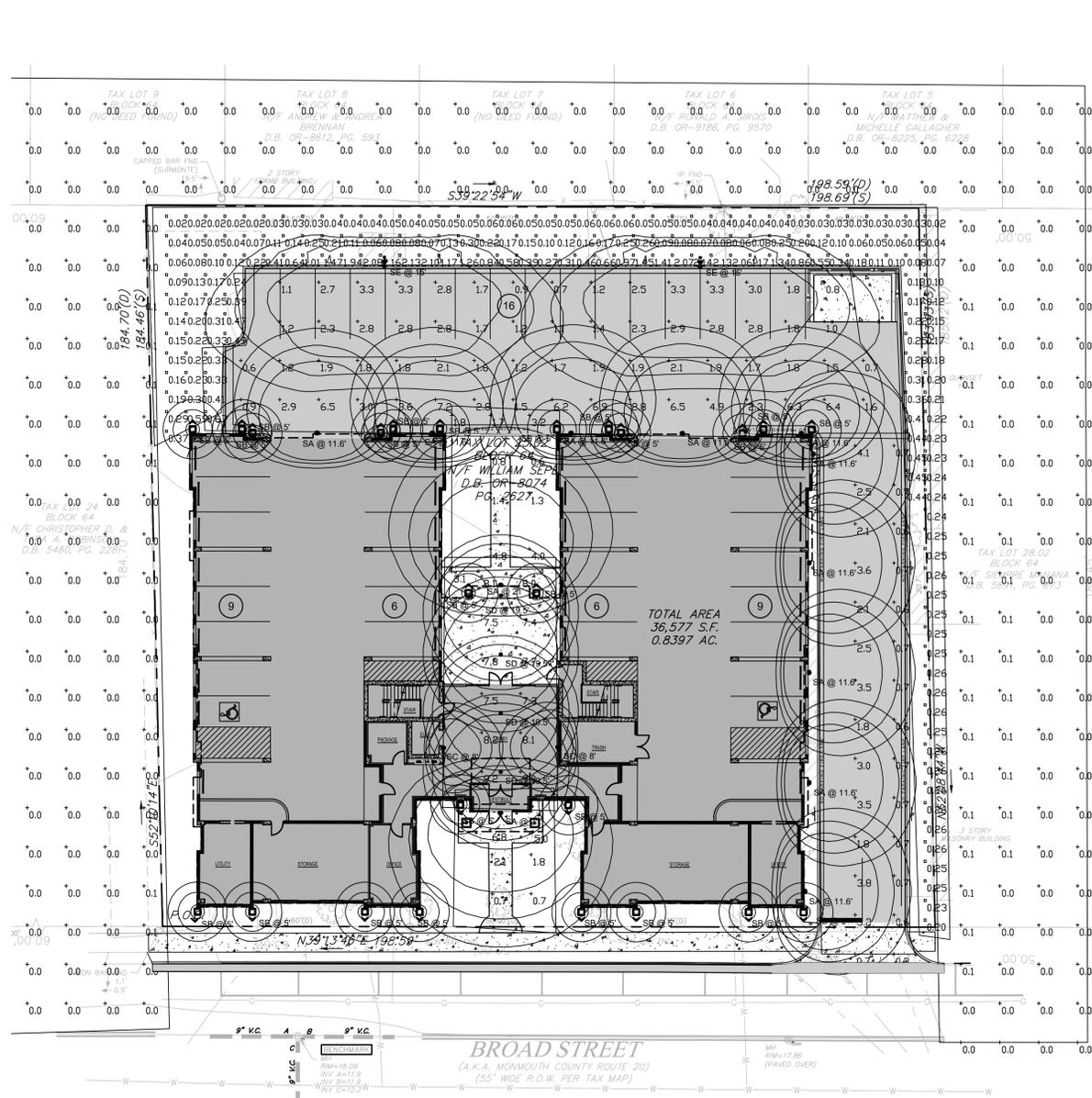
EXISTING TREE TO BE REMOVED (TYP.)

PLANT SCHEDULE								
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CAL.	HT.	ROOT	COMMENTS
	AG	1	Acer rubrum 'October Glory'™	October Glory Maple	2" - 2 1/2" CAL.		B&B	FULL SPECIMEN
	LD	2	Lagerstroemia indica 'Dallas Red'	Red Crape Myrtle	---	6' - 7' HT.	B&B	FULL SPECIMEN
	TG	29	Thuja occidentalis 'Green Giant'	Green Giant Arborvitae	---	6' - 7' HT.	B&B	FULL TO GROUND
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	COMMENTS	
	HL	38	Hydrangea paniculata 'Little Lime'	Little Lime Hydrangea	3 gal.	Pot	3' O.C.	
	IG	68	Ilex glabra 'Shamrock'	Inkberry	2.5' - 3'	5 Gal.	3' O.C.	
	MG	33	Miscanthus sinensis 'Gracillimus'	Maiden Grass	3 gal.	Pot	FULL PLANTS	
	MS	54	Miscanthus sinensis 'Morning Light'	Eulalia Grass	3 gal.	Pot	FULL PLANTS	
	RX	2	Rosa x 'Radrazz'	Knock Out Shrub Rose	3 gal.	Pot	3' O.C.	
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	COMMENTS	SPACING
	HM	161	Hemerocallis x 'Stella de Oro'	Stella de Oro Daylily	2 gal.	Pot	FULL PLANTS	18" O.C.



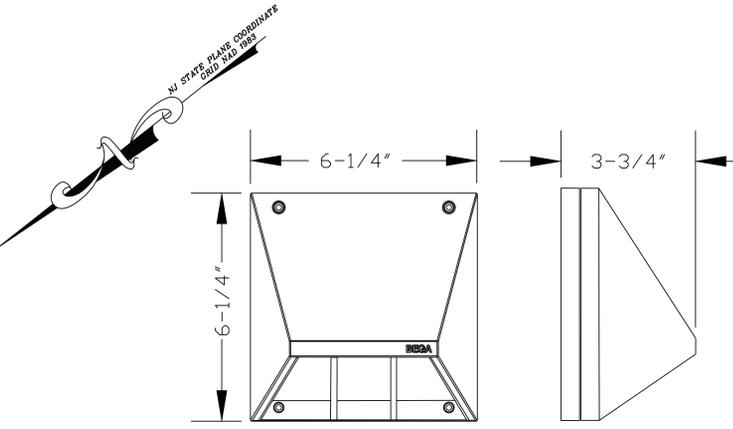
<table border="1"> <tr> <th>REV. NO.</th> <th>DATE</th> <th>DRWN</th> <th>CHKD</th> <th>REMARKS</th> </tr> <tr> <td>1</td> <td>7/7/20</td> <td>PAS</td> <td>JJF</td> <td>REVISED PLANS AS PER BOARD ENGINEER'S COMMENTS</td> </tr> </table>	REV. NO.	DATE	DRWN	CHKD	REMARKS	1	7/7/20	PAS	JJF	REVISED PLANS AS PER BOARD ENGINEER'S COMMENTS	DESIGNED BY: PAS DRAWN BY: PAS SHEET CHK'D BY: JJF CROSS CHK'D BY: APPROVED BY: DATE: OCTOBER 25, 2019	<p>ENGINEERING INFRASTRUCTURE</p>	ENGINEERING INFRASTRUCTURE 2 BRIDGE AVENUE, SUITE 323 RED BANK, NJ 07701 732.741.3176 ENGENUITYNJ.COM	LANDSCAPE AND TREE REMOVAL PLAN TAX BLOCK 64 LOTS 25.01, 25.02, 26 & 27 BOROUGH OF MANASQUAN MONMOUTH COUNTY, NEW JERSEY	OWNER / DEVELOPER / APPLICANT: BROAD STREET 34, LLC 126 MAIN STREET MANASQUAN, NJ 08736 PHONE: (732) 522-0197	JACLYN J. FLOR, P.E., P.P., C.M.E. CONSULTING ENGINEER LICENSED PROFESSIONAL ENGINEER STATE OF NJ LICENCE NO. 24GE045426 CERTIFICATE OF AUTHORIZATION 24GA28268000	PROJECT NO. SEPE-00020 DRAWING LS-1 SHEET NO. 4 OF 10
REV. NO.	DATE	DRWN	CHKD	REMARKS													
1	7/7/20	PAS	JJF	REVISED PLANS AS PER BOARD ENGINEER'S COMMENTS													

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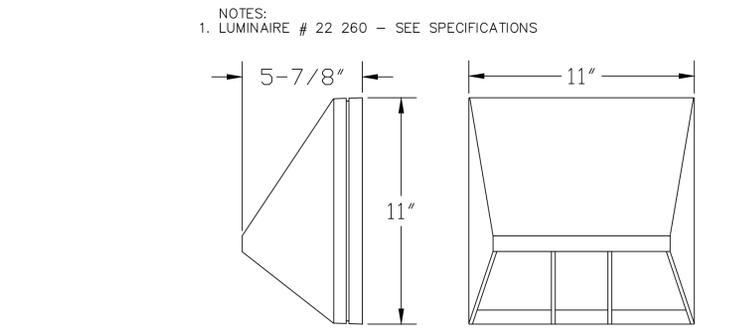


LIGHTING PLAN

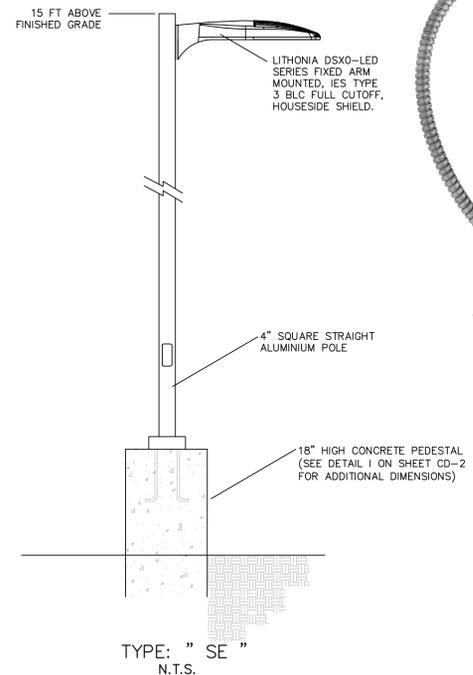
Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage	Efficiency	Distribution	Polar Plot	Notes
SA	SA		11	BEGA USA	1D/22 260 3K-MV-COLOR	22260	LED 29.8W	1	22260.IES	3557	0.9	34	100%			
SB	SB		24	STERNBERG LIT	1D/4016-CSA-MED INC-COLOR-VLL MOUNTED SFT AFG			1	GS.IES	700	0.9	20	78%			
SC	SC		2	BEGA	1D/22 292 3K-MV-COLOR	22292	LED 7.9W	1	22292.IES	617	0.9	7.9	100%			
SD	SD		4	Lithonia Lighting	1D/BSX0 LED P2 30K BLC MV-DLT-COLOR-R12-SG-COLOR-3FT PEDESTAL	6IN LDN, 3000K, 3000LM, BCR1, CLEAR, SEMI-SPECULAR REFLECTOR	LED	1	LDN6_30_30_LD6AR_LS.IES	2785	0.9	34.69	100%	DIRECT, SC=1.02, SC=90=1.03		
SE	SE		2	Lithonia Lighting	1D/BSX0 LED P2 30K BLC MV-DLT-COLOR-R12-SG-COLOR-3FT PEDESTAL	DSX0 LED P2 30K BLC MV-DLT	LED	1	DSX0_LED_P2_30K_BLC_MV-DLT.IES	4572	0.9	49	100%	TYPE III SHORT BUG RATING B1 - U0 G1		



TYPE "SC"
BEGA B22-292 LED 3K FULL CUTOFF FULL CUTOFF OPTICS



TYPE "SA"
BEGA B22-292 LED 3K FULL CUTOFF FULL CUTOFF OPTICS



TYPE: "SE"
N.T.S.

Small Scale Commercial Fixtures

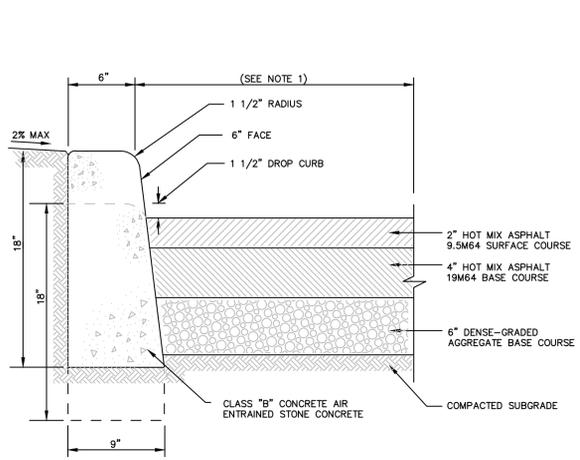
4000 COLONIAL RESIDENTIAL SERIES SPECIFICATIONS

FIXTURES | **SOCKET TYPE** | **BB BALLAST BOX**

4000 - Medium Scale for up to 50 watt ballasts
 4000 - Hanging or Pole for up to 70 watt ballasts

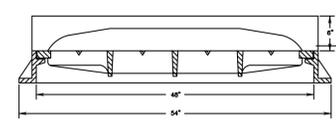
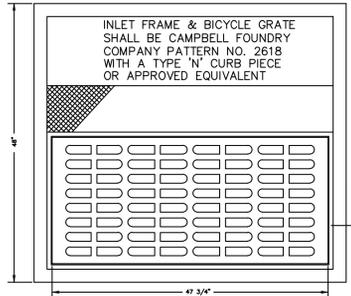
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ENGENUITY INFRASTRUCTURE AND ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF ENGENUITY INFRASTRUCTURE.

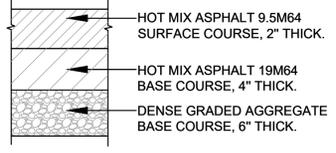


- NOTE: 1) IN AREAS WHERE EXISTING PAVEMENT IS TO REMAIN, A 2" WIDE PAVEMENT REPAIR STRIP SHALL BE CONSTRUCTED ALONG PROPOSED CURB. THE FOLLOWING ITEMS OF WORK WITHIN THE REPAIR STRIP ARE INCLUDED UNDER 9" x 18" CONCRETE VERTICAL CURB:
- SAWCUT
 - CONCRETE CURING AND SEALING COMPOUND
 - EXCAVATION UNCLASSIFIED
 - BACKFILL MATERIAL
 - COMPACTED SUBGRADE
 - DENSE-GRADED AGGREGATE BASE COURSE
 - HOT MIX ASPHALT 19M64 BASE COURSE - REMOVAL OF MONOLITHIC CONCRETE CURB AND GUTTER (IF REQUIRED)
- 2) CURB DEPTH SHALL BE MAINTAINED AT DROP CURBS.
- 3) 4" THICK, COARSE AGGREGATE SIZE NO. 57 SHALL BE CONSTRUCTED UNDERNEATH PROPOSED CURB IN WET FIELD CONDITIONS AS DIRECTED BY ENGINEER.
- 4) TOP OF CURB SHALL NOT BE SET HIGHER THAN ADJACENT EXISTING OR PROPOSED SIDEWALK UNDER ANY CONDITION.
- 5) ALL CONCRETE SURFACES SHALL BE TREATED WITH A CONCRETE CURING AND SEALING COMPOUND.

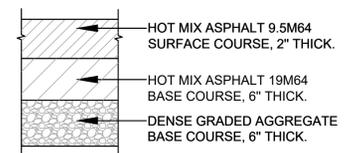
9"x18" CONCRETE VERTICAL CURB
 DETAIL (A) CD1



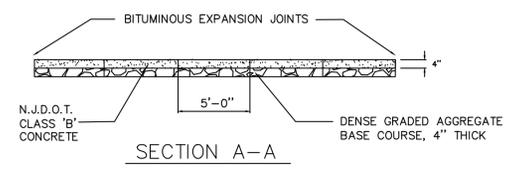
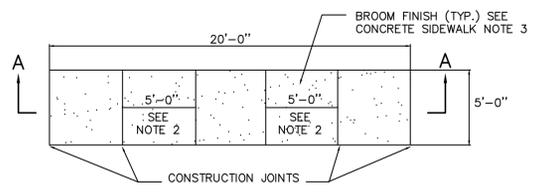
TYPE 'B' INLET FRAME
 DETAIL (B) CD1



PAVEMENT REPAIR DETAIL
 DETAIL (C1) CD1



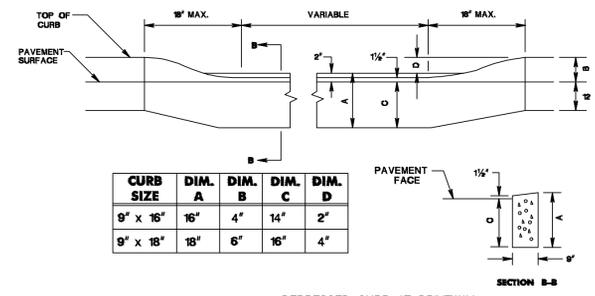
MONMOUTH COUNTY PAVEMENT REPAIR DETAIL
 DETAIL (C2) CD1



CONCRETE SIDEWALK NOTES:

- A PREFORMED, BITUMINOUS EXPANSION JOINT 1/2" THICK, 5" WIDE, AND EXTENDING THE FULL WIDTH OF THE WALK, UNBROKEN, SHALL BE INSTALLED EVERY TWENTY (20) FEET.
- CONSTRUCTION JOINTS SHALL BE INSTALLED EVERY FIVE (5) FEET THE FULL WALK WIDTH. HOWEVER, WHERE SIDEWALK IS DISTINCTLY WIDER THAN 5 FEET, THE JOINT SPACING IS TO BE INCREASED TO PROVIDE APPROXIMATELY SQUARE CONCRETE SIDEWALK FLAGS BETWEEN JOINTS. CONSTRUCTION AND EXPANSION JOINT SPACING WHERE SIDEWALK ABUTS THE EXISTING SIDEWALK IN THE COUNTY RIGHT-OF-WAY SHALL MATCH THE EXISTING JOINT SPACING.
- THERE SHALL BE A BROOM FINISH WITH THE EDGES FINISHED WITH A SUITABLE TOOL. CONCRETE FINISHING WHERE THE SIDEWALK ABUTS THE EXISTING SIDEWALK IN THE COUNTY RIGHT-OF-WAY SHALL MATCH THE EXISTING CONCRETE FINISHING.
- CONCRETE SIDEWALK THAT ABUT BUILDINGS SHALL PROVIDE A 6" TO 8" THICK HAUNCH FOR A WIDTH OF 6' TO 8'.
- UNLESS OTHERWISE DIRECTED BY THE ENGINEER, CONSTRUCTION WHICH DOES NOT CONFORM TO THE TOLERANCES SPECIFIED (IE. WHICH EXCEEDS THE MAXIMUM OR IS LESS THAN THE MINIMUM) WILL BE REMOVED AND REPLACED WITHOUT COST TO THE OWNER.
- CONCRETE FOR CURBS, SIDEWALKS, CURB RAMPS AND MONOLITHIC CURB RAMP CRADLES SHALL BE NJDOT CLASS B.
- EXPANSION JOINTS WITH PREFORMED EXPANSION JOINT FILLER FOR CONCRETE (BITUMINOUS TYPE), SHALL BE PROVIDED AS FOLLOWS:
 - 3.1 1/2" THICK AT LONGITUDINAL INTERVALS OF APPROXIMATELY TWENTY FEET (20') AND BETWEEN ALL SIDEWALK CURB RAMPS AND MONOLITHIC CURB RAMP CRADLES.
 - 3.2 3/4" THICK BETWEEN CURB AND SIDEWALK, AROUND ALL STRUCTURES OR APPURTENANCES, SUCH AS MANHOLES, JUNCTION BOXES AND UTILITY POLES, AND ADJACENT TO ANY FIXED STRUCTURE.
- EXPANSION JOINT MATERIAL SHALL BE TRIMMED AS TO BE SLIGHTLY BELOW THE SURFACE OF THE CONCRETE.
- JOINT SEALER WHERE SHOWN OR REQUIRED SHALL CONFORM TO NJDOT SPECIFICATION 914. HOT-POURED JOINT SEALER SHALL CONFORM TO ASTM D 6690. COLD-APPLIED JOINT SEALER SHALL CONFORM TO ASTM D 5893, TYPE SL OR TYPE NS.
- TOOLED JOINTS SHALL BE PROVIDED WITH A GROOVING TOOL SO AS TO DIVIDE THE CONCRETE SURFACE INTO BLOCKS AS CLOSELY APPROACHING A SQUARE AS PRACTICABLE. GROOVES SHALL BE CUT TO A DEPTH OF AT LEAST 1/2 INCH AND SHALL BE FINISHED WITH AN EDGING TOOL HAVING A RADIUS OF 1/4 INCH.
- UNLESS OTHERWISE DIRECTED BY THE ENGINEER, EXPANSION AND TOOLED JOINTS IN CONCRETE SURFACES SHALL BE ALIGNED WITH JOINTS IN CURBS.
- PUBLIC SIDEWALK CURB RAMPS, TURNING SPACES, BLENDED TRANSITIONS AND CLEAR SPACES WITHIN THE PEDESTRIAN ACCESS ROUTE SHALL NOT CONTAIN GRATINGS, COVERS, UTILITY BOXES OR SIMILAR OBSTRUCTION. OUTSIDE OF THE ABOVE AREAS, GRATINGS IN PUBLIC SIDEWALKS MAY HAVE OPENINGS NO GREATER THAN 1/2 INCH WIDE MEASURED PARALLEL TO DIRECTION OF TRAVEL.

CONCRETE SIDEWALK
 DETAIL (D) CD1

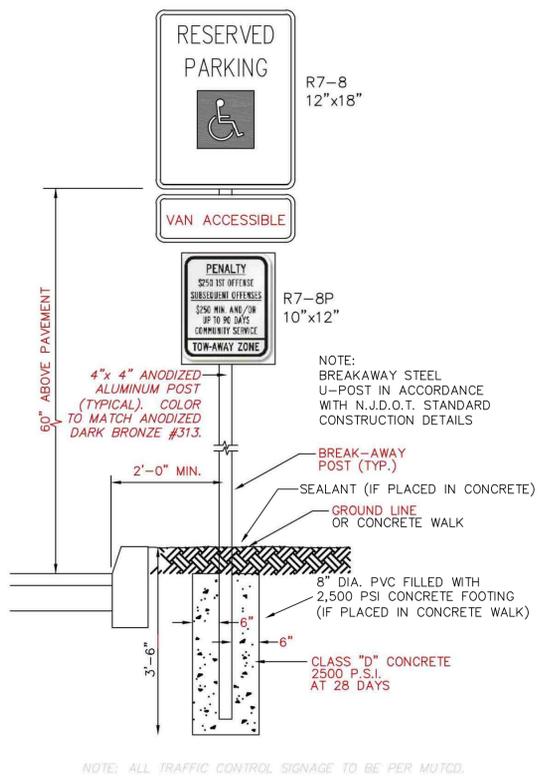


DEPRESSED CURB AT DRIVEWAY
 DETAIL (E) CD1

CURB SIZE	DIM. A	DIM. B	DIM. C	DIM. D
9" x 16"	16"	4"	14"	2"
9" x 18"	18"	6"	16"	4"

SECTION B-B

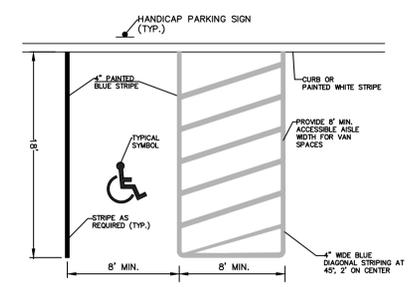
CONSTRUCTION DETAILS



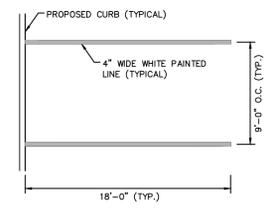
RESERVED PARKING SIGN POST
 DETAIL (R7-8) CD1

- GENERAL NOTES - SIGN POSTS:**
- ALL POSTS TO BE OF ADEQUATE LENGTH TO MEET THE REQUIREMENTS FOR ERECTION AS STATED IN THE CURRENT "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" AND AS INDICATED BELOW.
 - ALL SMALL SIGN SUPPORTS TO BE OF THE BREAKAWAY TYPE WITH EXCEPTION OF THOSE INSTALLED BEHIND GUIDE RAIL OR OTHER ROADSIDE BARRIER.
 - ALL STEEL POSTS AND BRACKETS TO BE CUT, BENT, AND HOLES PUNCHED AND DRILLED BEFORE GALVANIZING. GALVANIZING TO BE ACCORDING TO ASTM A123.
 - ALL STEEL U-POST SIGN SUPPORTS MUST BE INSTALLED FACING THE PREDOMINANT TRAFFIC FLOW. USE A MOUNTING BRACKET ON SIDE MOUNTED SIGNS SUCH AS "ONE WAY" SIGNS INSTALLED IN MEDIANS.
 - SIGN PANEL SIZES ARE TO DETERMINE POST TYPE AND NUMBER AS SHOWN ON THIS DETAIL.
 - BOLTS ARE NOT TO PROTRUDE MORE THAN 3/4" BEYOND THE NUT WHEN TIGHT, BUT ARE TO ENGAGE ALL THREADS IN THE NUT.
 - WHEN SIGNS ARE INSTALLED ON SLOPES 10H:1V OR FLATTER, THE MINIMUM VERTICAL CLEARANCE REQUIREMENTS FOR SIGNS ARE:
 - FOR SINGLE POST INSTALLATIONS - THE MINIMUM DISTANCE BETWEEN THE EDGE OF THE PAVEMENT AND THE BOTTOM OF ANY PANEL MUST BE 7 FEET, AND THE MINIMUM DISTANCE FROM EDGE OF PAVEMENT TO THE TOP OF ANY SIGN PANEL MUST BE 9 FEET.
 - WHERE GRADING OF 10H:1V OR FLATTER CANNOT BE OBTAINED, OR WHERE CURB OR BERM IS GREATER THAN 4 INCHES, THE MINIMUM VERTICAL CLEARANCE WILL BE MEASURED FROM THE GROUND LINE TO THE BOTTOM OF THE SIGN.
 - THE HORIZONTAL OFFSET FROM EDGE OF PAVEMENT TO EDGE OF SIGN IS DERIVED FROM SECTION 2A.19 OF THE MUTCD.
 - EXTRUDED ALUMINUM SIGN PANELS ARE NOT PERMITTED FOR USE WITH STEEL U-POST SIGN SUPPORTS.

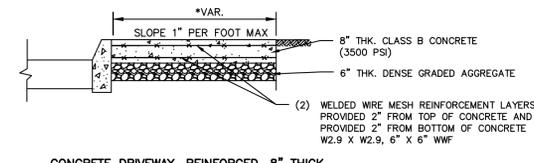
TYPICAL HANDICAP PARKING SIGN
 DETAIL (I) CD1



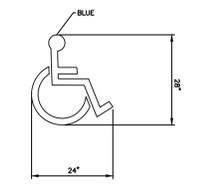
ACCESSIBLE PARKING STALL STRIP
 DETAIL (K) CD1



90° PARKING STALL
 DETAIL (L) CD1



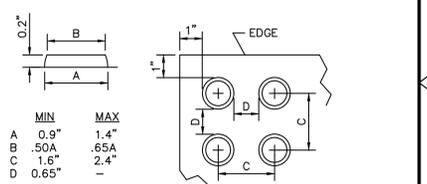
CONCRETE DRIVEWAY, REINFORCED, 8" THICK
 DETAIL (M) CD1



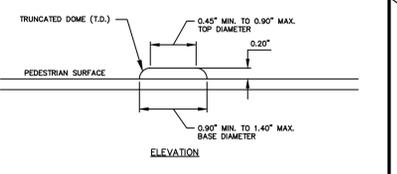
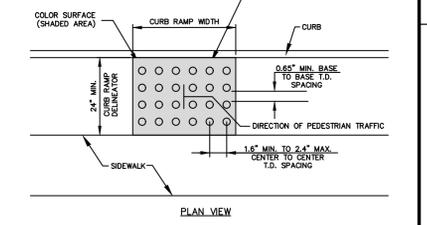
ADA SYMBOL
 DETAIL (F) CD1



NO PARKING FIRE LANE SIGN
 DETAIL (J) CD1



DETAIL - DETECTABLE WARNING
 (SEE GENERAL NOTE 11)
 NOT TO SCALE

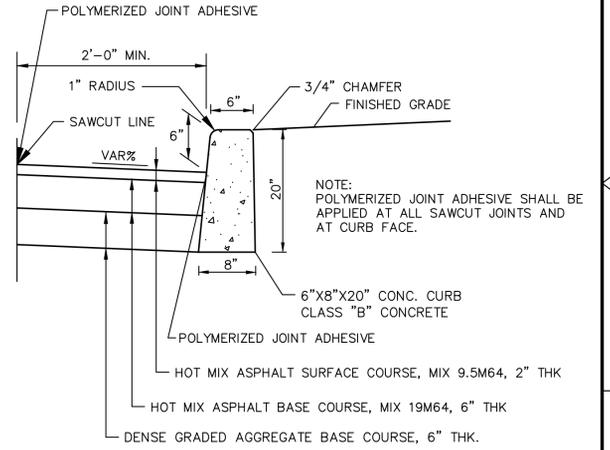


DETECTABLE WARNING SURFACE
 DETAIL (H) CD1



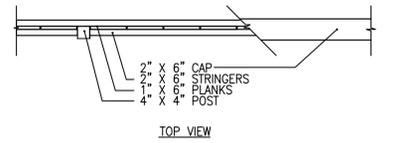
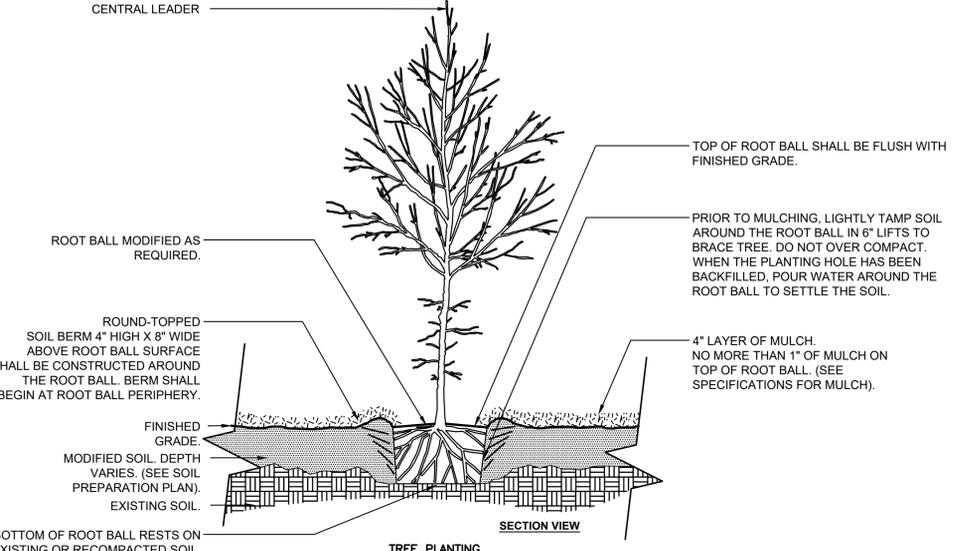
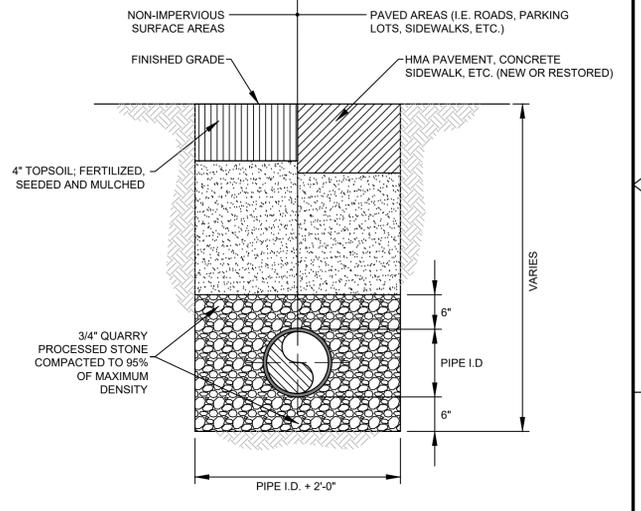
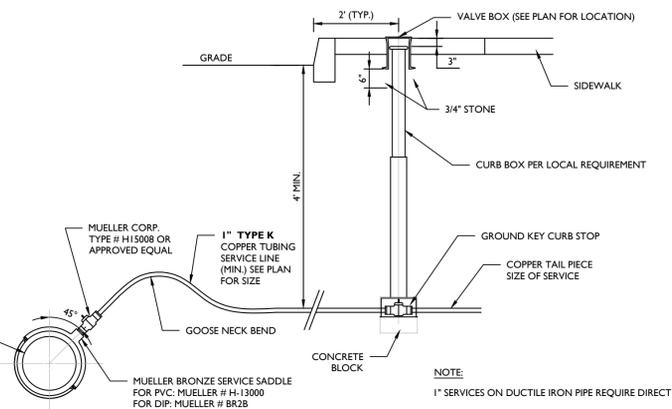
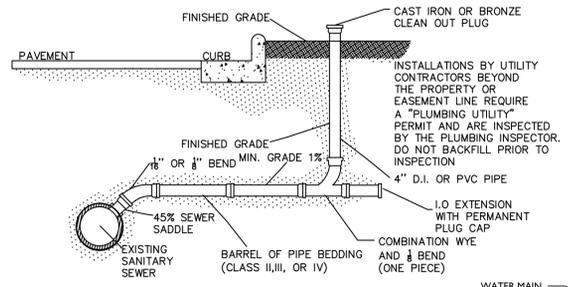
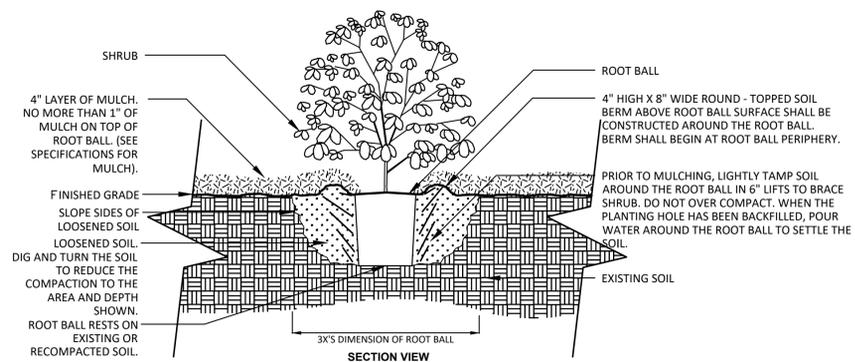
STOP SIGN
 DETAIL (G) CD1

- GENERAL NOTES - SIGNS:**
- DIMENSIONS, COLORS, AND DETAILS OF SIGNS AND SYMBOLS TO FOLLOW STANDARDS IN THE CURRENT "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS".
 - ALL SIGNS TO BE ASTM D 4956 TYPE III SHEETING.

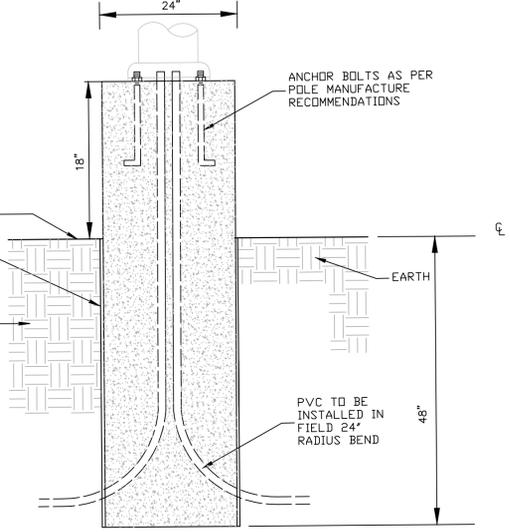
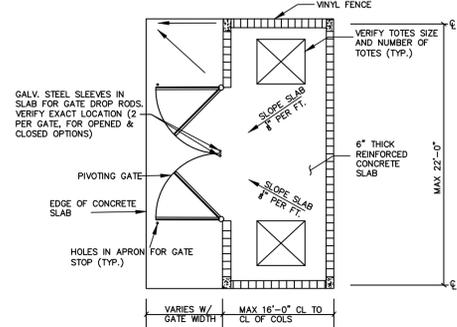
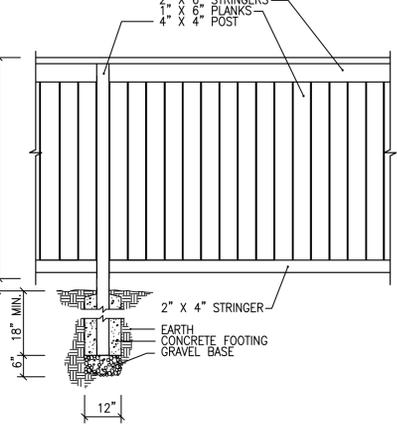


MONMOUTH COUNTY CURB AND PAVEMENT REPAIR
 DETAIL (K) CD1

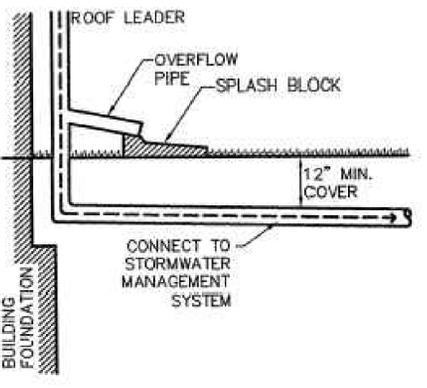
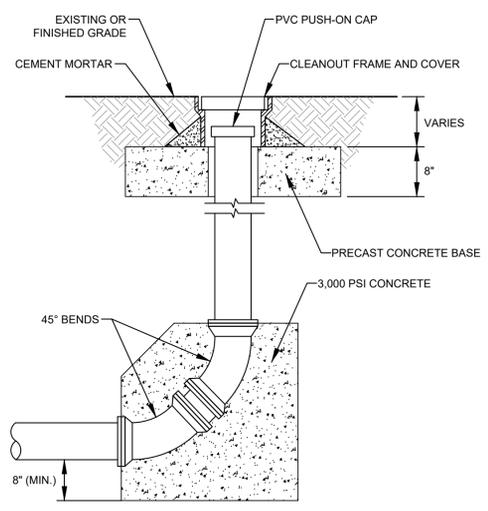
DESIGNED BY: PAS	ENGENUITY INFRASTRUCTURE	CONSTRUCTION DETAILS PLAN-1	OWNER / DEVELOPER / APPLICANT:	JACLYN J. FLOR, P.E., P.P., C.M.E.	PROJECT NO. SEPE-00020
DRAWN BY: PAS	2 BRIDGE AVENUE, SUITE 323	TAX BLOCK 64	BROAD STREET 34, LLC	CONSULTING ENGINEER	DRAWING
SHEET CHK'D BY: JJF	RED BANK, NJ 07701	LOTS 25.01, 25.02, 26 & 27	126 MAIN STREET	10/25/19	CD-1
CROSS CHK'D BY:	732.741.3176	BOROUGH OF MANASQUAN	MANASQUAN, NJ 08736	DATE	SHEET NO.
APPROVED BY:	ENGENUITYNJ.COM	MONMOUTH COUNTY, NEW JERSEY	PHONE: (732) 522-0197		6 OF 10
DATE: OCTOBER 25, 2019					



- NOTES:**
- ALL NAILS AND HARDWARE TO BE HOT DIPPED GALVANIZED
 - POSTS TO BE WOLMANIZED PINE GRADE C OR BETTER
 - STRINGERS AND PLANKS TO BE WESTERN RED CEDAR #1



- NOTES:**
1. ALL CONDUIT IS TO BE SCHEDULED 40 GRAY
 2. SWEEPS NEED TO BE A MINIMUM OF 24" RADIUS
 3. ROD CONCRETE TO ELIMINATE AIR POCKETS IN 4000 LB. CONCRETE MIX
 4. BOLT CIRCLE MAY VARY WITH POLE TO BE USED



CONSTRUCTION DETAILS

ENGENUITY INFRASTRUCTURE AND ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF ENGENUITY INFRASTRUCTURE.

REV. NO.	DATE	DRWN	CHKD	REMARKS
1	7/7/20	PAS	JJF	REVISED PLANS AS PER BOARD ENGINEER'S COMMENTS

DESIGNED BY: PAS
 DRAWN BY: PAS
 SHEET CHK'D BY: JJF
 CROSS CHK'D BY:
 APPROVED BY:
 DATE: OCTOBER 25, 2019



ENGENUITY INFRASTRUCTURE
 2 BRIDGE AVENUE, SUITE 323
 RED BANK, NJ 07701
 732.741.3176
 ENGENUITYNJ.COM

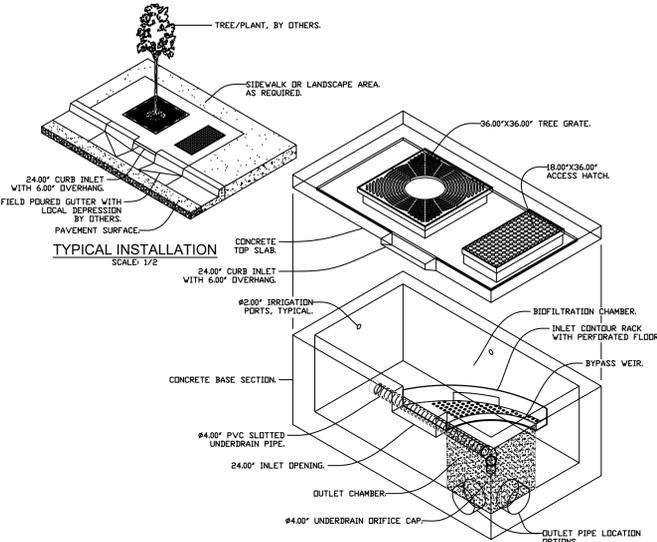
CONSTRUCTION DETAILS PLAN-2
 TAX BLOCK 64
 LOTS 25.01, 25.02, 26 & 27
 BOROUGH OF MANASQUAN
 MONMOUTH COUNTY, NEW JERSEY

OWNER / DEVELOPER / APPLICANT:
BROAD STREET 34, LLC
 126 MAIN STREET
 MANASQUAN, NJ 08736
 PHONE: (732) 522-0197

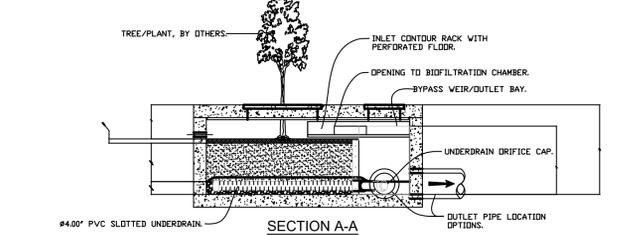
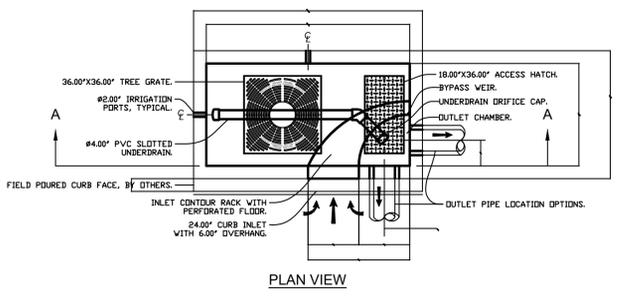
JACLYN J. FLOR, P.E., P.P., C.M.E.
 CONSULTING ENGINEER

 LICENSED PROFESSIONAL ENGINEER
 STATE OF NJ LICENSE NO. 24GE045426
 CERTIFICATE OF AUTHORIZATION 24GA28268000
 DATE: 10/25/19

PROJECT NO. SEPE-00020
 DRAWING CD-2
 SHEET NO. 7 OF 10

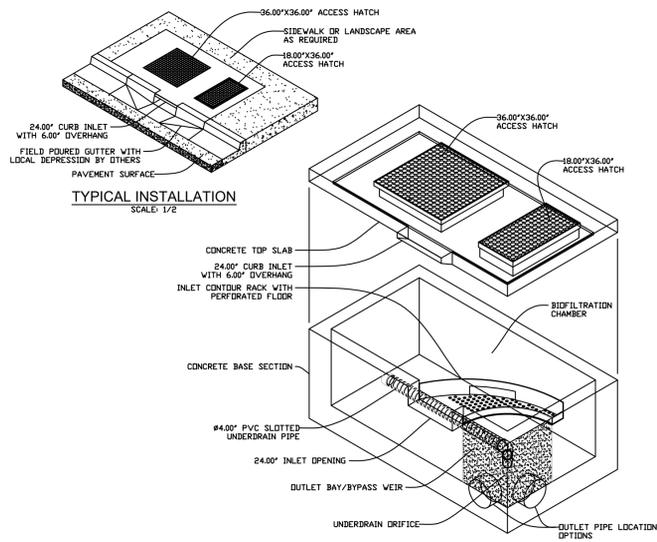


- NOTES:**
- RIGHT CONFIGURATION SHOWN, MIRROR LEFT CONFIGURATION OF INLET RACK AND BYPASS WEIR IS AVAILABLE TO ACCOMMODATE OTHER OUTLET PIPE LOCATIONS.
 - STANDARD UNITS CAN ACCOMMODATE UP TO A 15 INCH DIAMETER RCP OUTLET PIPE.
 - SEPARATE BYPASS STRUCTURE IS REQUIRED IF PEAK FLOW RATE EXCEEDS 2.0 CFS INTERNAL BYPASS CAPACITY.
 - 18"X36" DIAMOND PLATE ACCESS HATCH STANDARD, SLIP RESISTANT OPTION AVAILABLE.
 - CONTACT OLDCASTLE INFRASTRUCTURE FOR ENGINEERING ASSISTANCE AND DETAIL DRAWINGS.
 - CONCRETE COMPONENTS SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM C890 & C913.
 - VEGETATION BY OTHERS. CUSTOMER TO SPECIFY. INSTALLED AT TIME OF ACTIVATION. THE OWNER IS RESPONSIBLE FOR THE SURVIVAL OF THE VEGETATION AND MUST PROVIDE AS NECESSARY.

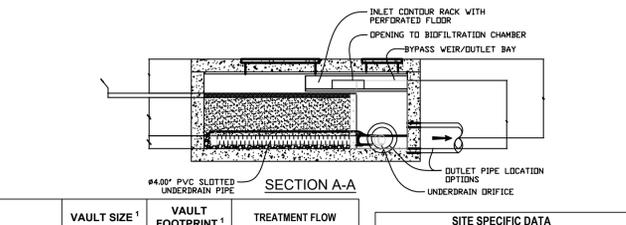
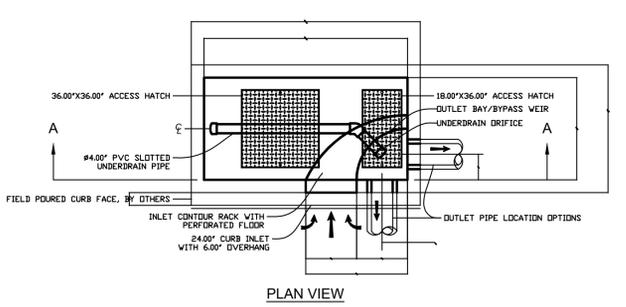


MODEL	VAULT SIZE ¹ (ID)		VAULT FOOTPRINT ¹ (OD)		TREATMENT FLOW CAPACITY ² (GPM/CFS)	TREATMENT FLOW CAPACITY ³ (GPM/CFS)
	A DIM	B DIM	A1 DIM	B1 DIM		
BPT-46IB-SI	4'	6'	5'	7'	33.4 / 0.074	37.5 / 0.084
BPT-48IB-SI	4'	8'	5'	9'	46.2 / 0.103	51.9 / 0.116
BPT-412IB-SI	4'	12'	5'	13'	71.8 / 0.160	80.7 / 0.180
BPT-66IB-SI	6'	6'	7'	7'	52.6 / 0.117	59.1 / 0.132
BPT-68IB-SI	6'	8'	7'	9'	71.8 / 0.160	80.7 / 0.180
BPT-612IB-SI	6'	12'	7'	13'	110.2 / 0.245	123.9 / 0.276
BPT-816IB-SI	8'	16'	9'	17'	199.8 / 0.445	224.7 / 0.501

1. All Dimensions Are Nominal
 2. Based on an IWA Ecology GUILD Approval for Basic, Enhanced & Phosphorus. At 1.60 gpm/sf Media Surface Area.
 3. Based on an NJCAT Verification & NJ DEP Certification. At 1.80 gpm/sf Media Surface Area.

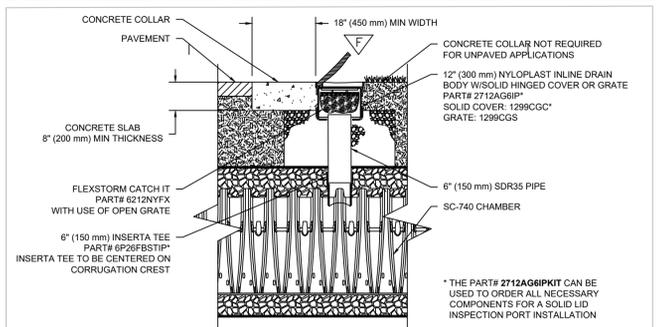


- NOTES:**
- RIGHT CONFIGURATION SHOWN, MIRROR LEFT CONFIGURATION OF INLET RACK AND BYPASS WEIR IS AVAILABLE TO ACCOMMODATE OTHER OUTLET PIPE LOCATIONS.
 - STANDARD UNITS CAN ACCOMMODATE UP TO A 15 INCH DIAMETER RCP OUTLET PIPE.
 - SEPARATE BYPASS STRUCTURE IS REQUIRED IF PEAK FLOW RATE EXCEEDS 2.0 CFS INTERNAL BYPASS CAPACITY.
 - DIAMOND PLATE ACCESS HATCH STANDARD, SLIP RESISTANT OPTION AVAILABLE.
 - CONTACT OLDCASTLE INFRASTRUCTURE FOR ENGINEERING ASSISTANCE AND DETAIL DRAWINGS.
 - CONCRETE COMPONENTS SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM C890 & C913.

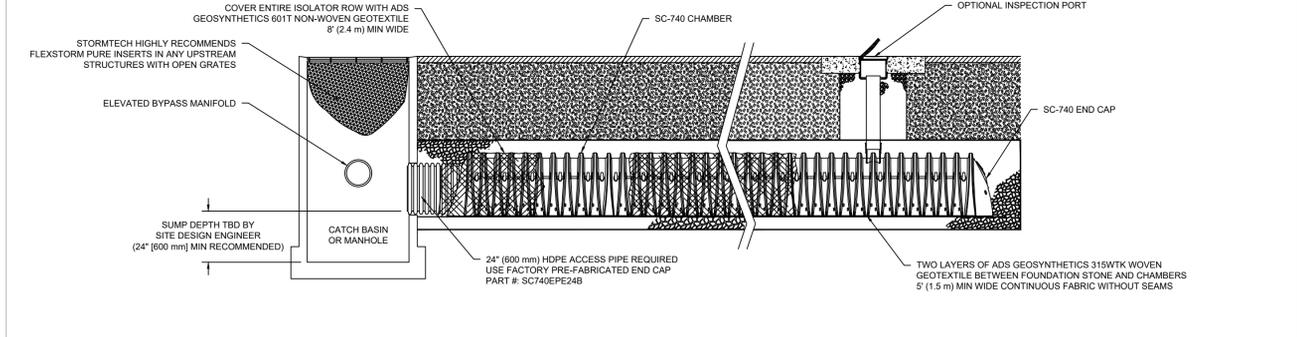


MODEL	VAULT SIZE ¹ (ID)		VAULT FOOTPRINT ¹ (OD)		TREATMENT FLOW CAPACITY (GPM/CFS)	
	A DIM	B DIM	A1 DIM	B1 DIM	1.6 GPM/SF (WA GULD) ²	1.8 GPM/SF (NJCAT) ³
BPS-46IB-SI	4'	6'	5'	7'	33.4 / 0.074	37.5 / 0.084
BPS-48IB-SI	4'	8'	5'	9'	46.2 / 0.103	51.9 / 0.116
BPS-412IB-SI	4'	12'	5'	13'	71.8 / 0.160	80.7 / 0.180
BPS-66IB-SI	6'	6'	7'	7'	52.6 / 0.117	59.1 / 0.132
BPS-68IB-SI	6'	8'	7'	9'	71.8 / 0.160	80.7 / 0.180
BPS-612IB-SI	6'	12'	7'	13'	110.2 / 0.245	123.9 / 0.276
BPS-812IB-SI	8'	12'	9'	13'	148.5 / 0.331	167.0 / 0.372
BPS-816IB-SI	8'	16'	9'	17'	199.8 / 0.445	224.7 / 0.501

1. All Dimensions are nominal. ID=Inside Dimension, OD=Outside Dimension.
 2. Treatment flow capacity at 1.6 gpm/sf media surface area based on an IWA Ecology GUILD Approval for Basic, Enhanced & Phosphorus.
 3. Treatment flow capacity at 1.8 gpm/sf media surface area based on an NJCAT Verification & NJ DEP Certification.



3 SC-740 6" (150 mm) INSPECTION PORT DETAIL

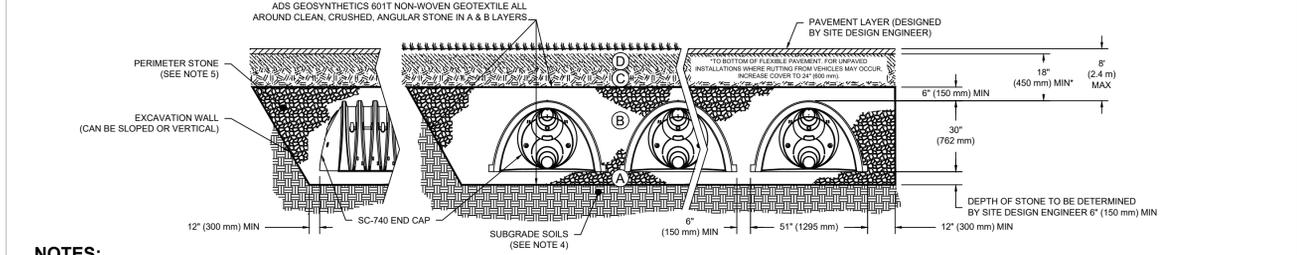


2 SC-740 ISOLATOR ROW DETAIL

ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145 ¹ A-1, A-2-4, A-3 OR AASHTO M43 ² 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ² 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ² 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

PLEASE NOTE:
 1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) MAX LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
 3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.



- NOTES:**
- SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS", OR ASTM F2922 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 - SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 - "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
 - THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
 - PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
 - ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

1 SC-740 CROSS SECTION DETAIL

DESIGNED BY: PAS	ENGENUITY INFRASTRUCTURE	CONSTRUCTION DETAILS PLAN-3	OWNER / DEVELOPER / APPLICANT:	JACLYN J. FLOR, P.E., P.P., C.M.E.	PROJECT NO. SEPE-00020
DRAWN BY: PAS	2 BRIDGE AVENUE, SUITE 323	TAX BLOCK 64	BROAD STREET 34, LLC	CONSULTING ENGINEER	DRAWING
SHEET CHK'D BY: JJJ	RED BANK, NJ 07701	LOTS 25.01, 25.02, 26 & 27	126 MAIN STREET	10/25/19	CD-3
CROSS CHK'D BY:	732.741.3176	BOROUGH OF MANASQUAN	MANASQUAN, NJ 08736	DATE	SHEET NO.
APPROVED BY:	ENGENUITYNJ.COM	MONMOUTH COUNTY, NEW JERSEY	PHONE: (732) 522-0197		8 OF 10
DATE: OCTOBER 25, 2019					

STANDARD FOR
TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION

Definition

Establishment of temporary vegetative cover on soils exposed for periods of two to 6 months which are not being graded, not under active construction or not scheduled for permanent seeding within 60 days.

Purpose

To temporarily stabilize the soil and reduce damage from wind and water erosion until permanent stabilization is accomplished.

Water Quality Enhancement

Provides temporary protection against the impacts of wind and rain, slows the overland movement of stormwater runoff, increases infiltration and retains soil and nutrients on site, protecting streams or other stormwater conveyances.

Where Applicable

On exposed soils that have the potential for causing off-site environmental damage.

Methods and Materials

- Site Preparation**
 - Grade as needed and feasible to permit the use of conventional equipment for seeded preparation, seeding, mulch application, and mulch anchoring. All grading should be done in accordance with Standards for Land Grading, p. 19-1.
 - Install needed erosion control practices or facilities such as diversions, grade stabilization structures, channel stabilization measures, sediment basins, and waterways. See Standards 11 through 42.
 - Immediately prior to seeding, the surface should be scarified 6" to 12" where there has been soil compaction. This practice is permissible only where there is no danger to underground utilities (cables, irrigation systems, etc.).
- Seeded Preparation**
 - Apply ground limestone and fertilizer according to soil test recommendations such as offered by Rutgers Cooperative Extension offices. Fertilizer shall be applied at the rate of 500 pounds per acre or 11 pounds per 1,000 square feet of 10-20-10 or equivalent with 50% water insoluble nitrogen unless a soil test indicates otherwise. Apply limestone per soil testing. Calcium carbonate is the equivalent and standard for measuring the ability of liming materials to neutralize soil acidity and supply calcium and magnesium to grasses and legumes.
 - Work lime and fertilizer into the soil as nearly as practical to a depth of 4 inches with a disc, springtooth harrow, or other suitable equipment. The final harrowing or discing operation should be on the general contour. Continue tillage until a reasonably uniform seedbed is prepared.
 - Inspect seedbed just before seeding. If traffic has left the soil compacted, the area must be retilled as above.
 - Soils high on sulfides or having a pH of 4 or less refer to Standard for Management of High Acid Producing Soils, pg. 1-1.
- Seeding**
 - Select seed from recommendations in Table.

SEED SELECTION	SEEDING RATES 1/ (pounds)		OPTIMUM SEEDING DATE 2/ Based on Plant Hardiness Zone 3/			OPTIMUM SEED DEPTH 4/ (inches)
	Per Acre	Per 1,000 Sq. Ft.	ZONE 5	ZONE 6	ZONE 7	
COOL SEASON GRASSES						
Perennial ryegrass	100	1.0	3/15-6/1 8/1-9/15	3/1-5/15 8/15-10/1	2/15-5/1 8/15-10/15	0.5
Spring Oats	86	2.0	3/15-6/1 8/1-9/15	3/1-5/15 8/15-10/1	2/15-5/1 8/15-10/15	1.0
Winter Barley	96	2.2	8/1-9/15	8/15-10/1	8/15-10/15	1.0
Annual ryegrass	100	1.0	3/15-6/1 8/1-9/15	3/1-5/15 8/15-10/1	2/15-5/1 8/15-10/15	0.5
Winter Cereal Rye	112	2.8	8/1-11/1	8/1-11/15	8/1-12/15	1.0
WARM SEASON GRASSES						
Pearl millet	20	0.5	6/1-8/1	5/15-8/15	5/1-9/1	1.0
Millet (German or Hungarian)	30	0.7	6/1-8/1	5/15-8/15	5/1-9/1	1.0

- Seeding rate for warm season grass. Not adjusted to reflect the amount of Pure Line Seed (PLS) as determined by a germination test result. No adjustment is required for cool season grasses.
- May be planted throughout summer if soil moisture is adequate or can be irrigated
- Plant Hardiness Zone (see below)
- Twice the depth for sandy soils

- Zone 5b (-10 to -15) Portions of Sussex and Warren Counties.
- Zone 6a (-5 to -10) Portions of Sussex, Warren, Passaic, Morris, Somerset and Hunterdon counties.
- Zone 6b (0 to -5) Portions of Bergen, Camden, Essex and Gloucester, Hunterdon, Mercer, Middlesex, Hudson, Monmouth, Ocean, Burlington, Morris, Passaic, Somerset, Union, Atlantic, Cumberland, and Cape May counties.
- Zone 7a (5 to 0) Portions of Camden, Gloucester, Salem, Cumberland, Cape May, Atlantic, Burlington, Ocean, and Monmouth counties.
- Zone 7b (10 to 5) Portions of Cape May, Atlantic, Ocean and Monmouth counties.

- Conventional Seeding** - Apply seed uniformly by hand, cyclone (centrifugal) seeder, drop seeder, drill or cultipacker seeder. Except for drilled, hydroseeded or cultipacker seedings, seed shall be incorporated into the soil, to a depth of 1/4 to 1/2 inch, by raking or dragging. Depth of seed placement may be 1/4 inch deeper on coarse textured soil.
- Hydroseeding is a broadcast seeding method usually involving a truck or trailer mounted tank, with an agitation system and hydraulic pump for mixing seed, water and fertilizer and spraying the mix onto the prepared seedbed. Mulch shall not be included in the tank with seed. Short fibered mulch may be applied with a hydroseeder following seeding. (also see Section IV Mulching) Hydroseeding is not a preferred seeding method because seed and fertilizer are applied to the surface and not incorporated into the soil. Poor seed to soil contact occurs reducing seed germination and growth. Hydroseeding may be used for areas too steep for conventional equipment to traverse or too obstructed with rocks, stumps, etc.
- After seeding, firming the soil with a corrugated roller will assure good seed-to-soil contact, restore capillarity, and improve seeding emergence. This is the preferred method. When performed on the contour, sheet erosion will be minimized and water conservation on site will be maximized.

IV. Mulching

Mulching is required on all seeding. Mulch will insure against erosion before grass is established and will promote faster and earlier establishment. The existence of vegetation sufficient to control soil erosion shall be deemed compliance with this mulching requirement.

- Straw or Hay. Unrotted small grain straw, hay free of seeds, or salt hay to be applied at the rate of 1-1/2 to 2 tons per acre (70 to 90 pounds per 1,000 square feet), except that where a crimped is used instead of liquid mulch-binder (tackifying or adhesive agent), the rate of application is 3 tons per acre. Mulch chopper-blowers must not grind the mulch. Hay mulch is not recommended for establishing fine turf or lawns due to the presence of weed seed.
- Application. Spread mulch uniformly by hand or mechanically so that approximately 95% of the soil surface will be covered. For uniform distribution of hand-spread mulch, divide area into approximately 1,000 square foot sections and distribute 70 to 90 pounds within each section.
- Anchoring shall be accomplished immediately after placement to minimize loss by wind or water. This may be done by one of the following methods, depending upon the size of the area, steepness of slopes, and costs.

- Peg and Twine. Drive 8 to 10 inch wooden pegs to within 2 to 3 inches of the soil surface every 4 feet in all directions. Stakes may be driven before or after applying mulch. Secure mulch to soil surface by stretching twine between pegs in a criss-cross and a square pattern. Secure twine around each peg with two or more round turns.

- Mulch Nettings - Staple paper, jute, cotton, or plastic nettings to the soil surface. Use a degradable netting in areas to be mowed.

- Crimper (mulch anchoring tool). A tractor-drawn implement, somewhat like a disc harrow, especially designed to push or cut some of the broadcast long fiber mulch 3 to 4 inches into the soil so as to anchor it and leave part standing upright. This technique is limited to areas traversable by a tractor, which must operate on the contour of slopes. Straw mulch rate must be 3 tons per acre. No tackifying or adhesive agent is required.

- Liquid Mulch-Binders - May be used to anchor salt hay or straw mulches.
 - Applications should be heavier at edges where wind catches the mulch, in valleys, and at crests of banks. Remainder of area should be uniform in appearance.
 - Use one of the following:
 - Organic and Vegetable Based Binders - Naturally occurring, powder based, hydrophilic materials when mixed with water formulates a gel and when applied to mulch under satisfactory curing conditions will form membraned networks of insoluble polymers. The vegetable gel shall be physiologically harmless and not result in a phytotoxic effect or impede growth of turfgrass. Use at rates and weather conditions as recommended by the manufacturer to anchor mulch materials. Many new products are available, some of which may need further evaluation for use in this state.
 - Synthetic binders - High polymer synthetic emulsion, miscible with water when diluted and following application to mulch, drying and curing shall no longer be soluble or dispersible in water. It shall be applied at rates recommended by the manufacturer and remain tacky until germination of grass.

- Wood-fiber or paper-fiber mulch. Shall be made from wood, plant fibers or paper containing no growth or germination inhibiting materials, used at the rate of 1,500 pounds per acre (or as recommended by the product manufacturer) and may be applied by a hydroseeder. This mulch shall not be mixed in the tank with seed. Use is limited to flatter slopes and during optimum seeding periods in spring and fall.

- Pelletized mulch. Compressed and extruded paper and/or wood fiber product, which may contain co-polymers, tackifiers, fertilizers and coloring agents. The dry pellets, when applied to a seeded area and watered, form a mulch mat. Pelletized mulch shall be applied in accordance with the manufacturers recommendations. Mulch may be applied by hand or mechanical spreader at the rate of 60-75 lbs/1,000 square feet and activated with 0.2 to 0.4 inches of water. This material has been found to be beneficial for use on small lawn or renovation areas, seeded areas where weed-seed free mulch is desired or on sites where straw mulch and tackifier agent are not practical or desirable.
- Applying the full 0.2 to 0.4 inches of water after spreading pelletized mulch on the seed bed is extremely important for sufficient activation and expansion of the mulch to provide soil coverage.

STANDARD FOR
PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION

Definition

Establishment of permanent vegetative cover on exposed soils where perennial vegetation is needed for long term protection.

Purpose

To permanently stabilize the soil, assuring conservation of soil and water, and to enhance the environment.

Who is Responsible

The Township of Howell is responsible for the maintenance of permanent soil erosion and sediment control measures after completion of construction. The contractor shall be responsible during construction.

Water Quality Enhancement

Slows the over-land movement of stormwater runoff, increases infiltration and retains soil and nutrients on site, protecting streams or other stormwater conveyances.

Where Applicable

On exposed soils that have a potential for causing off-site environmental damage.

Methods and Materials

- Site Preparation**
 - Grade as needed and feasible to permit the use of conventional equipment for seeded preparation, seeding, mulch application, and mulch anchoring. All grading should be done in accordance with Standards for Land Grading.
 - Immediately prior to seeding and topsoil application, the subsoil shall be evaluated for compaction in accordance with the Standard for Land Grading.
 - Topsoil should be handled only when it is dry enough to work without damaging the soil structure. A uniform application to a depth of 5 inches (unsettled) is required on all sites. Topsoil shall be done in accordance with the Standard for Land Grading.
 - Install needed erosion control practices or facilities such as diversions, grade stabilization structures, channel stabilization measures, sediment basins, and waterways.

Seeded Preparation

- Uniformly apply ground limestone and fertilizer to topsoil which has been spread and firmed, according to soil test recommendations such as offered by Rutgers Co-operative Extension Soil sample analysis from the local Rutgers Cooperative Extension offices (<http://njaes.rutgers.edu/county/>). Fertilizer shall be applied at the rate of 500 pounds per acre or 11 pounds 1,000 square feet of 10-10-10 or equivalent with 50% water insoluble nitrogen unless a soil test indicates otherwise and incorporated into the surface to a depth of 4 inches. If fertilizer is not incorporated, apply one-half the rate described above during seedbed preparation and repeat another one-half the rate application of the same fertilizer within 3 to 5 weeks after seeding.
- Work lime and fertilizer into the soil as nearly as practical to a depth of 4 inches with a disc, springtooth harrow, or other suitable equipment. The final harrowing or discing operation should be on the general contour. Continue tillage until a reasonably uniform seedbed is prepared.
- Cool high acid producing soil. Soils having a pH of 4 or less or containing iron sulfide shall be covered with a minimum of 12 inches of soil having a pH of 5 or more before initiating seedbed preparation. See Standard for Management of High Acid Producing Soils.

II. Seeding

- Use a mixture recommended by Rutgers Cooperative Extension or Natural Resources Conservation Service which is approved by the Soil Conservation District. The recommended seed mixture is as follows: Fine Fescue (Blend) 45 lbs. per acre or 10 lbs. per 1,000 sq. ft.; Hard Fescue 20 lbs. per acre or 5 lbs. per 1,000 sq. ft.; Chew Fescue 5 lbs. per 1,000 sq. ft.; Tall fescue 265 lbs. per acre or 6 lbs. per 1,000 sq. ft.; Perennial ryegrass (blend) 20 lbs. per acre or 5 lbs. per 1,000 sq. ft.; Turf type tall fescue 350 lbs. per acre or 8 lbs. per 1,000 sq. ft.; Hard fescue 175 lbs. per acre or 4 lbs. per 1,000 sq. ft.; Chew fescue 45 lbs. per acre or 1 lbs. per 1,000 sq. ft.; Strong Creeping red fescue 45 lbs. per acre or 1 lbs. per 1,000 sq. ft.; Perennial ryegrass 10 lbs. per acre or .25 lbs. per 1,000 sq. ft. Optimal planting period 3/1-4/30 or 6/15-10/15. Seed germination shall have been tested within 12 months of the planting date. No seed shall be accepted with a germination test date more than 12 months old unless retested.

- Seeding rates specified are required when a report of compliance is requested prior to actual establishment of permanent vegetation. Up to 50% reduction in rates may be used when permanent vegetation is established prior to a report of compliance inspection. These rates apply to all methods of seeding. Establishing permanent vegetation means 80% vegetative coverage with the specified seed mixture for the seeded area and mowed once.

- Warm-season mixtures are grasses and legumes which maximize growth at high temperatures, generally 85o F. and above. See Table 4-3 mixtures 1 to 7. Planting rates for warm-season grasses shall be the amount of Pure Live Seed (PLS) as determined by germination testing results.

- Cool-season mixtures are grasses and legumes which maximize growth at temperatures below 85oF. Many grasses have active at 65oF. See Table 4-3, mixtures 8-20. Adjustment of planting rates to compensate for the amount of PLS is not required for cool season grasses.

- Conventional Seeding - Apply seed uniformly by hand, cyclone (centrifugal) seeder, drop seeder, drill or cultipacker seeder. Except for drilled, hydroseeded or cultipacker seedings, seed shall be incorporated into the soil within 24 hours of seedbed preparation to a depth of 1/4 to 1/2 inch, by raking or dragging. Depth of seed placement may be 1/4 inch deeper on coarse textured soil.
- After seeding, firming the soil with a corrugated roller will assure good seed-to-soil contact, restore capillarity, and improve seeding emergence. This is the preferred method. When performed on the contour, sheet erosion will be minimized and water conservation on site will be maximized.
- Hydroseeding is a broadcast seeding method usually involving a truck or trailer mounted tank, with an agitation system and hydraulic pump for mixing seed, water and fertilizer and spraying the mix onto the prepared seedbed. Mulch shall not be included in the tank with seed. Short fibered mulch may be applied with a hydroseeder following seeding. Hydroseeding is not a preferred seeding method because seed and fertilizer are applied to the surface and not incorporated into the soil. Poor seed to soil contact occurs reducing seed germination and growth. Hydroseeding may be used for areas too steep for conventional equipment to traverse or too obstructed with rocks, stumps, etc.

IV. Mulching

Mulching is required on all seeding. Mulch will protect against erosion before grass is established and will promote faster and earlier establishment. The existence of vegetation sufficient to control soil erosion shall be deemed compliance with this mulching requirement.

- Straw or Hay. Unrotted small grain straw, hay free of seeds, or salt hay to be applied at the rate of 1-1/2 to 2 tons per acre (70 to 90 pounds per 1,000 square feet), except that where a crimper is used instead of liquid mulch-binder (tackifying or adhesive agent), the rate of application is 3 tons per acre. Mulch chopper-blowers must not grind the mulch. Hay mulch is not recommended for establishing fine turf or lawns due to the presence of weed seed.

Application - Spread uniformly by hand mechanically so that approximately 85% of the soil surface will be covered. For uniform distribution of hand-spread mulch, divide area into approximately 1,000 square foot sections and distribute 70 to 90 pounds within each section.

Anchoring should be accomplished immediately after placement to minimize loss by wind or water. This may be done by one of the following methods, depending upon the size of the area, steepness of slopes, and costs.

- Peg and Twine - Drive 8 to 10 inch wooden pegs to within 2 to 3 inches of the soil surface every 4 feet in all directions. Stakes may be driven before or after applying mulch. Secure mulch to soil surface by stretching twine between pegs in a criss-cross and a square pattern. Secure twine around each peg with two or more round turns.

- Mulch Nettings - Staple paper, jute, cotton, or plastic nettings to the soil surface. Use a degradable netting in areas to be mowed.

- Crimper (mulch anchoring tool) - A tractor-drawn implement, somewhat like a disc-harrow, especially designed to push or cut some of the broadcast long fiber mulch 3 to 4 inches into the soil so as to anchor it and leave part standing upright. This technique is limited to areas traversable by a tractor, which must operate on the contour of slopes. Straw mulch rate must be 3 tons per acre. No tackifying or adhesive agent is required.

- Liquid Mulch-Binders - May be used to anchor salt hay or straw mulches.
 - Applications should be heavier at edges where wind catches the mulch, in valleys, and at crests of banks. Remainder of area should be uniform in appearance.
 - Use one of the following:
 - Organic and Vegetable Based Binders - Naturally occurring, powder based, hydrophilic materials when mixed with water formulates a gel and when applied to mulch under satisfactory curing conditions will form membraned networks of insoluble polymers. The vegetable gel shall be physiologically harmless and not result in a phytotoxic effect or impede growth of turfgrass. Use at rates and weather conditions as recommended by the manufacturer to anchor mulch materials. Many new products are available, some of which may need further evaluation for use in this state.
 - Synthetic binders - High polymer synthetic emulsion, miscible with water when diluted and following application to mulch, drying and curing shall no longer be soluble or dispersible in water. It shall be applied at rates recommended by the manufacturer and remain tacky until germination of grass.

- Wood-fiber or paper-fiber mulch. Shall be made from wood, plant fibers or paper containing no growth or germination inhibiting materials, used at the rate of 1,500 pounds per acre (or as recommended by the product manufacturer) and may be applied by a hydroseeder. This mulch shall not be mixed in the tank with seed. Use is limited to flatter slopes and during optimum seeding periods in spring and fall.

- Pelletized mulch. Compressed and extruded paper and/or wood fiber product, which may contain co-polymers, tackifiers, fertilizers and coloring agents. The dry pellets, when applied to a seeded area and watered, form a mulch mat. Pelletized mulch shall be applied in accordance with the manufacturers recommendations. Mulch may be applied by hand or mechanical spreader at the rate of 60-75 lbs/1,000 square feet and activated with 0.2 to 0.4 inches of water. This material has been found to be beneficial for use on small lawn or renovation areas, seeded areas where weed-seed free mulch is desired or on sites where straw mulch and tackifier agent are not practical or desirable.
- Applying the full 0.2 to 0.4 inches of water after spreading pelletized mulch on the seed bed is extremely important for sufficient activation and expansion of the mulch to provide soil coverage.

- Irrigation (where feasible)**

If soil moisture is deficient, and mulch is not used, supply new seedlings with adequate water (a minimum of 1/4 inch twice a day until vegetation is well established). This is especially true when seedlings are made in abnormally dry or hot weather or on droughty sites.

- Topdressing**

Since soil organic matter content and slow release nitrogen fertilizer (water insoluble) are prescribed in Section 2A - Seeded Preparation in this Standard, no follow-up of topdressing is mandatory. An exception may be made where gross nitrogen deficiency exists in the soil to the extent that turf failure may develop. In that instance, topdress with 10-10-10 or equivalent at 300 pounds per acre or 7 pounds per 1,000 square feet every 3 to 5 weeks until the gross nitrogen deficiency in the turf is ameliorated.

VI. Establishing Permanent Vegetative Stabilization

The quality of permanent vegetation rests with the contractor. The timing of seeding, preparing the seedbed, applying nutrients, mulch and other management are essential. The seed application rate is required when a Report of Compliance is requested prior to actual establishment of permanent vegetation. Up to 50% reduction in application rates may be used when permanent vegetation is established prior to requesting a Report of Compliance from the district. This rate applies to all methods of seeding. Establishing permanent vegetation means 80% vegetative cover (of the seeded species) and mowed once.

- Soil Erosion and Sediment Control Notes**

The quality of permanent vegetation rests with the contractor. The timing of seeding, preparing the seedbed, applying nutrients, mulch and other management are essential. The seed application rate is required when a Report of Compliance is requested prior to actual establishment of permanent vegetation. Up to 50% reduction in application rates may be used when permanent vegetation is established prior to requesting a Report of Compliance from the district. This rate applies to all methods of seeding. Establishing permanent vegetation means 80% vegetative cover (of the seeded species) and mowed once.

STANDARD FOR
STABILIZATION WITH MULCH ONLY

Definition

Stabilizing exposed soils with non-vegetative materials exposed for periods longer than 14 days

Purpose

To protect exposed soil surfaces from erosion damage and to reduce offsite environmental damage.

Water Quality Enhancement

Provides temporary mechanical protection against wind or rainfall induced soil erosion until permanent vegetative cover may be established.

Where Applicable

This practice is applicable to areas subject to erosion, where the season and other conditions may not be suitable for growing an erosion-resistant cover or where stabilization is needed for a short period until more suitable protection can be applied.

Method and Materials

1. Site Preparation

- Grade as needed and feasible to permit the use of conventional equipment for seeded preparation, seeding, mulch application, and mulch anchoring. All grading should be done in accordance with Standards for Land Grading

- Install needed erosion control practices or facilities such as diversions, grade stabilization structures, channel stabilization measures, sediment basins, and waterways. See Standards 11 through 42.

2. Protective Materials

- Unrotted small-grain straw, at 2.0 to 2.5 tons per acre, is spread uniformly at 90 to 115 pounds per 1,000 square feet and anchored with a mulch anchoring tool, liquid mulch binders, or netting tie down. Other suitable materials may be used if approved by the Soil Conservation District. The approved rates above have been met when the mulch covers the ground completely upon visual inspection, i.e. the soil cannot be seen below the mulch.

- Synthetic or organic soil stabilizers may be used under suitable conditions and in quantities as recommended by the manufacturer.

- Wood-fiber or paper-fiber mulch at the rate of 1,500 pounds per acre (or according to the manufacturer's requirements) may be applied by a hydroseeder.

- Mulch netting, such as paper jute, excelsior, cotton, or plastic, may be used.

- Woodchips applied uniformly to a minimum depth of 2 inches may be used. Woodchips will not be used on areas where flowing water could wash them into an inlet and plug it.

- Gravel, crushed stone, or slag at the rate of 9 cubic yards per 1,000 sq. ft. applied uniformly to a minimum depth of 3 inches may be used. Size 2 or 3 (ASTM C-33) is recommended.

- Mulch anchoring should be accomplished immediately after placement of hay or straw mulch to minimize loss by wind or water. This may be done by one of the following methods, depending upon the size of the area and steepness of slopes.
 - Peg and Drive - Drive 8 to 10 inch peg to within 2 to 3 inches of the soil surface every 4 feet in all directions. Stakes may be driven before or after applying mulch. Secure mulch to soil surface by stretching twine between pegs in a criss-cross and square pattern. Secure twine around each peg with two or more round turns.

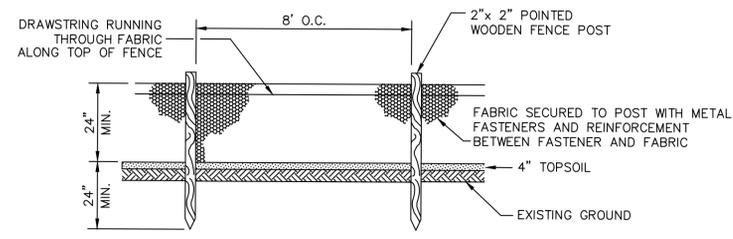
- Mulch nettings - Staple paper, cotton, and plastic nettings over mulch. Use a erodeable netting in areas to be mowed. Netting is usually available in rolls 4 feet wide and 300 feet long.

- Crimper Mulch Anchoring Coupler Tool - A tractor-drawn implement especially designed to punch and anchor mulch into the soil surface. This practice affords maximum erosion control, but its use is limited to those slopes upon which the tractor can operate safely. Soil penetration should be about 3 to 4 inches. On sloping land, the operation should be on the contour.

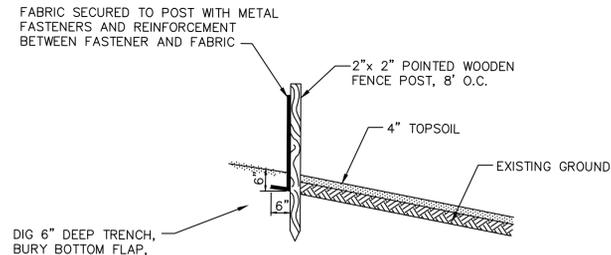
- Liquid Mulch - Binders
 - Application should be heavier at edge where wind catches the mulch, in valleys, and at crests of banks. Remainder of area should be uniform in appearance.
 - Use one of the following:
 - Organic and Vegetable Based Binders - Naturally occurring, powder based hydrophilic material that mixed with water formulates a gel and when applied to mulch under satisfactory curing conditions will form membrane networks of insoluble polymers. The vegetable gel shall be physiologically harmless and not result in a phytotoxic effect of impede growth of turfgrass. Vegetable based gels shall be applied at rates and weather conditions recommended by the manufacturer.
 - Synthetic Binders - High polymer synthetic emulsion, miscible with water when diluted and following application to mulch, drying and curing shall no longer be soluble or dispersible in water. It shall be applied at rates and weather conditions recommended by the manufacturer and remain tacky until germination of grass.

- Soil Erosion and Sediment Control Notes**
 - THE FREEHOLD SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
 - ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
 - ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET CURRENT STATESOIL EROSION AND SEDIMENT CONTROL STANDARDS.
 - N.J.S.A. 4:24-39 ET. SEQ. REQUIRES THAT NO CERTIFICATES OF OCCUPANCY BE ISSUED BEFORE THE DISTRICT DETERMINES THAT A PROJECT OR PORTION THEREOF IS IN FULL COMPLIANCE WITH THE CERTIFIED PLAN AND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL. IN NEW JERSEY AND A REPORT OF COMPLIANCE HAS BEEN ISSUED, UPON WRITTEN REQUEST FROM THE APPLICANT, THE DISTRICT MAY ISSUE A REPORT OF COMPLIANCE WITH CONDITIONS ON A LOT-BY-LOT OR SECTION-BY-SECTION BASIS, PROVIDED THAT THE PROJECT OR PORTION THEREOF IS IN SATISFACTORY COMPLIANCE WITH THE REQUIREMENTS OF DEVELOPMENT AND TEMPORARY MEASURES FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN IMPLEMENTED, INCLUDING PROVISIONS FOR STABILIZATION AND SITE WORK.
 - ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN FIFTEEN (15) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PERMITS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL, AT A RATE OF 2 TO 2 1/2 TONS PER ACRE, ACCORDING TO THE STANDARD FOR STABILIZATION WITH MULCH ONLY.
 - IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. SOIL STOCKPILES, STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AND A MULCH ANCHOR, IN ACCORDANCE WITH STATE STANDARDS.
 - A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF MEASURES TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN FIFTEEN (15) DAYS OF THE PRELIMINARY GRADING.
 - THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A PAD OF CLEAN CRUSHED STONE AT POINTS WHERE TRAFFIC WILL BE ACCESSING THE CONSTRUCTION SITE. AFTER INTERIOR ROADWAYS ARE PAVED, INDIVIDUAL LOTS REQUIRE A STABILIZED CONSTRUCTION ACCESS CONSISTING OF ONE INCH TO TWO INCH (1"-2") STONE FOR A MINIMUM LENGTH OF TEN FEET (10') EQUAL TO THE LOT ENTRANCE WIDTH. ALL OTHER ACCESS POINTS SHALL BE BLOCKED OFF.
 - ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAYS WILL BE REMOVED IMMEDIATELY. PERMANENT VEGETATION IS TO BE SEEDED OR SOODED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING.
 - AT THE TIME THAT SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF STABILIZATION SHOULD BE EMPLOYED.
 - IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING 4% OR LESS OR CONTAINING IRON SULFIDES SHALL BE ULTIMATELY PLACED OR BURIED WITH LIMESTONE APPLIED AT THE RATE OF 10 TONS/ACRE, (OR 450 LBS/1,000 SQ FT OF SURFACE AREA) AND COVERED WITH A MINIMUM OF 12" OF SETTLED SOIL WITH A PH OF 5 OR MORE, OR 24" WHERE TREES OR SHRUBS ARE TO BE PLANTED.
 - CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
 - UNFILTERED DEWATERING IS NOT PERMITTED. NECESSARY PRECAUTIONS MUST BE TAKEN DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH THE STANDARD FOR DEWATERING.
 - SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET. TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED AS REQUIRED BY THE STANDARD FOR DUST CONTROL.
 - STOCKPILES AND STAGING LOCATIONS ESTABLISHED IN THE FIELD SHALL BE PLACED WITHIN THE

ENGINEUTY INFRASTRUCTURE AND ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF ENGINEUTY INFRASTRUCTURE.

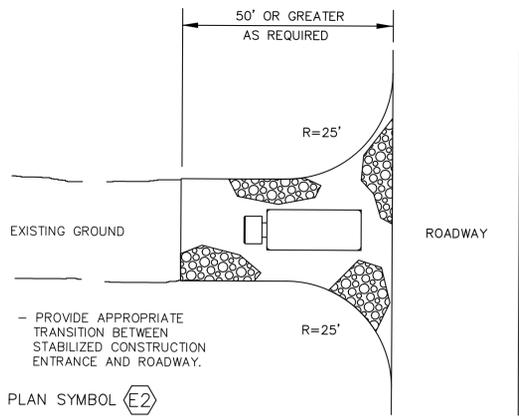
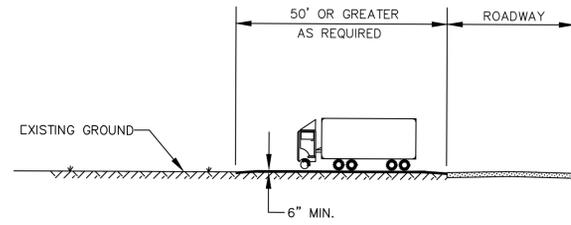


FRONT ELEVATION



SIDE ELEVATION

SEDIMENT CONTROL FENCE
DETAIL A
NTS SESC2



PLAN SYMBOL E2

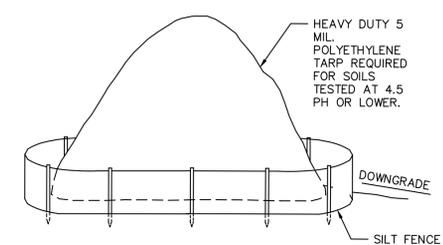
Stone Size - Use ASTM C-33, size No. 2 (2 1/2 to 1 1/2 in) or 3 (2 to 1 in). Use clean crushed angular stone. Crushed concrete of similar size may be substituted but will require more frequent upgrading and maintenance.

Table 29-1: Lengths of Construction Exits on Sloping Roadbeds

Percent Slope of Roadway	Length of Stone Required	
	Coarse Grained Soils	Fine Grained Soils
0 to 2%	50 Feet	100 Feet
2 to 5%	100 Feet	200 Feet
> 5%	Entire surface stabilized with Hot Mix Asphalt Base Course, Mix 1-2	

1. As prescribed by local ordinance or other governing authority.

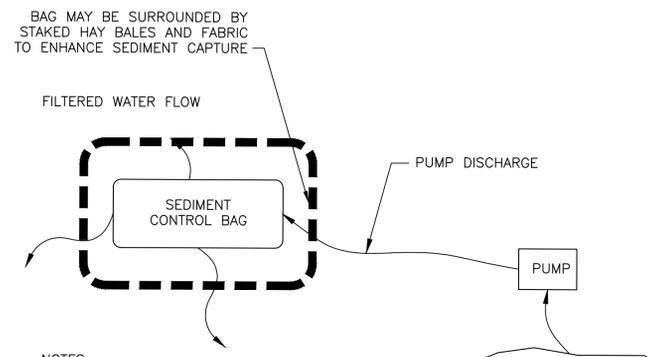
STABILIZED CONSTRUCTION ENTRANCE
DETAIL B
NTS SESC2



NOTES:
1. ALL STOCKPILES SHALL NOT TO BE LOCATED WITHIN 50 FEET OF A FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITY.

TOPSOIL STOCKPILE
DETAIL D
NTS SESC2

SOIL EROSION AND SEDIMENT CONTROL DETAILS



NOTES:
1. BAGS MUST BE LOCATED AWAY FROM RECEIVING WATERS AND/OR CONSTRUCTION ACTIVITIES.
2. BAGS MUST BE DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS. BAGS MAY NOT BE REUSED.

SEDIMENT CONTROL BAG FOR DEWATERING
DETAIL E
NTS SESC2

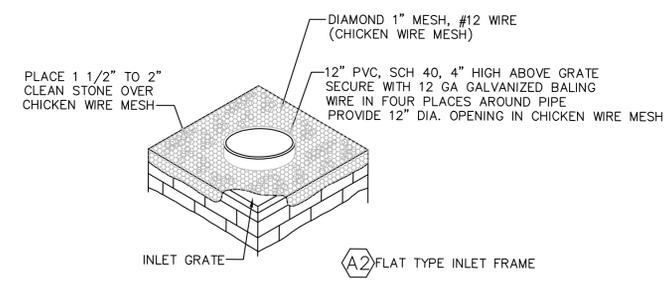
PROPOSED CONSTRUCTION SEQUENCE	APPROX. DURATION:
1. APPLICATION OF PROPER MEASURES FOR THE CONTROL OF SOIL EROSION & SEDIMENT CONTROL.	2 DAYS
2. CLEARING OF THE SITE (INCLUDING DEMOLITION OF STRUCTURES).	10 DAYS
3. TEMPORARY STABILIZATION OF AREAS INITIALLY DISTURBED. STABILIZATION TO BE ACCOMPLISHED BY USE OF TEMPORARY SEEDING AND/OR STRAW MULCHING OR EQUIVALENT MATERIAL AT A RATE OF TWO TONS PER ACRE, ACCORDING TO STATE STANDARDS.	1 DAYS
4. CONSTRUCT BUILDING AND RELATED APPURTENANCES.	180 DAYS
5. INSTALLATION OF STORMWATER SYSTEM.	15 DAYS
6. INSTALLATION OF CURB, SIDEWALK AND OTHER MATERIALS FOR ROADWAY CONSTRUCTION.	5 DAYS
7. INSTALLATION OF TOPSOILING, FERTILIZING, SEEDING, AND MULCHING.	1 DAYS
8. REMOVAL OF SOIL EROSION AND SEDIMENT CONTROL DEVICES AFTER ESTABLISHED VEGETATIVE GROWTH HAS OCCURRED.	1 DAYS

THE TOTAL ESTIMATED TIME OF CONSTRUCTION IS 215 DAYS*

* NOTE: PROPOSED CONSTRUCTION SEQUENCE IS PROVIDED FOR SOIL CONSERVATION DISTRICT USE ONLY.

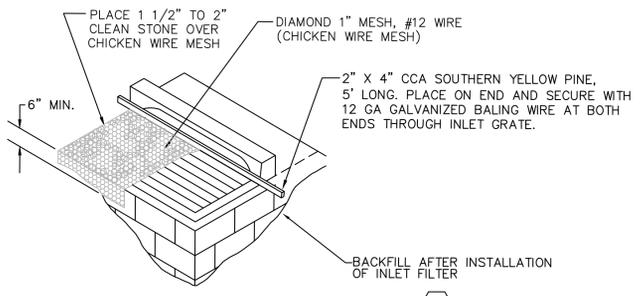
TOTAL PROJECT DISTURBED AREA = 0.8397 ACRES
NO LAND DISTURBING CONSTRUCTION ACTIVITIES ARE TO OCCUR OUTSIDE THE INDICATED LIMITS OF DISTURBANCE.

- THE FREEHOLD SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
FREEHOLD SOIL CONSERVATION DISTRICT
4000 KOZLOSKI RD
FREEHOLD, NJ 07728
TEL. (732)683-8500
- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION AND SEDIMENT CONTROL STANDARDS.
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- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN SIXTY (60) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF 2 TO 2 1/2 TONS PER ACRE, ACCORDING TO THE STANDARD FOR STABILIZATION WITH MULCH ONLY.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. SOIL STOCKPILES, STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AND A MULCH ANCHOR, IN ACCORDANCE WITH STATE STANDARDS.
- A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN FIFTEEN (15) DAYS OF THE PRELIMINARY GRADING.
- THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A PAD OF CLEAN CRUSHED STONE AT POINTS WHERE TRAFFIC WILL BE ACCESSING THE CONSTRUCTION SITE. AFTER INTERIOR ROADWAYS ARE PAVED, INDIVIDUAL LOTS REQUIRE A STABILIZED CONSTRUCTION ACCESS CONSISTING OF ONE INCH TO TWO INCH (1" - 2") STONE FOR A MINIMUM LENGTH OF TEN FEET (10') EQUAL TO THE LOT ENTRANCE WIDTH. ALL OTHER ACCESS POINTS SHALL BE BLOCKED OFF.
- ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAYS WILL BE REMOVED IMMEDIATELY.
- PERMANENT VEGETATION IS TO BE SEEDING OR SODDING ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING.
- AT THE TIME THAT SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
- IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE ULTIMATELY PLACED OR BURIED WITH LIMESTONE APPLIED AT THE RATE OF 8 TONS/ACRE, (OR 450LBS/1,000 SQ FT OF SURFACE AREA) AND COVERED WITH A MINIMUM OF 12" OF SETTLED SOIL WITH A PH OF 5 OR MORE, OR 24" WHERE TREES OR SHRUBS ARE TO BE PLANTED.
- CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
- UNFILTERED DEWATERING IS NOT PERMITTED. NECESSARY PRECAUTIONS MUST BE TAKEN DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH THE STANDARD FOR DEWATERING.
- SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET. TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED AS REQUIRED BY THE STANDARD FOR DUST CONTROL.
- STOCKPILE AND STAGING LOCATIONS ESTABLISHED IN THE FIELD SHALL BE PLACED WITHIN THE LIMIT OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN. STAGING AND STOCKPILES NOT LOCATED WITHIN THE LIMIT OF DISTURBANCE WILL REQUIRE CERTIFICATION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN. CERTIFICATION OF A NEW SOIL EROSION AND SEDIMENT CONTROL PLAN MAY BE REQUIRED FOR THESE ACTIVITIES IF AN AREA GREATER THAN 5,000 SQUARE FEET IS DISTURBED.
- ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #6.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.



FLAT TYPE INLET FRAME
DETAIL A2
NTS SESC2

GENERAL NOTES:
1. CONTRACTOR TO CLEAN INLET FILTER AFTER EVERY STORM.
2. FILTER FABRIC, WOOD PIECE OR PVC PIPE TO BE REMOVED AFTER PAVING OR FINAL GRADING AND ESTABLISHMENT OF VEGETATION.



CURB TYPE INLET FRAME
DETAIL A1
NTS SESC2

INLET FILTER PROTECTION
DETAIL C
NTS SESC2

REV. NO.	DATE	DRWN	CHKD	REMARKS
1	7/7/20	PAS	JJF	REVISED PLANS AS PER BOARD ENGINEER'S COMMENTS

DESIGNED BY: PAS
DRAWN BY: PAS
SHEET CHK'D BY: JJF
CROSS CHK'D BY:
APPROVED BY:
DATE: OCTOBER 25, 2019

ENGINEUTY INFRASTRUCTURE
2 BRIDGE AVENUE, SUITE 323
RED BANK, NJ 07701
732.741.3176
ENGINEUTYNJ.COM

SOIL EROSION AND SEDIMENT CONTROL DETAILS
TAX BLOCK 64
LOTS 2 & 3
BOROUGH OF MANASQUAN
MONMOUTH COUNTY, NEW JERSEY

OWNER / DEVELOPER / APPLICANT:
BROAD STREET 34, LLC
126 MAIN STREET
MANASQUAN, NJ 08736
PHONE: (732) 522-0197

JACLYN J. FLOR, P.E., P.P., C.M.E.
CONSULTING ENGINEER
10/25/19
DATE
LICENSED PROFESSIONAL ENGINEER
STATE OF NJ LICENSE NO. 24GE045426
CERTIFICATE OF AUTHORIZATION 24GA28268000

PROJECT NO. SEPE-00020
DRAWING
SESC-2
SHEET NO.
10 OF 10

September 17, 2020

Borough of Manasquan Planning Board
201 East Main Street
Manasquan, NJ 08736

RE: Block 191 Lot: 12 Zone: R-5
539 Brielle Road

Dear Members of the Planning Board,

My name is Evan Shadlun and I am the property owner of 539 Brielle Road in Manasquan. I am writing you to request an extension of my variance due to unforeseen delays in conjunction with the COVID-19 pandemic.

Six months after being granted my variance, the architect I was using at the time proved incapable of providing me with sufficient information to apply for a construction permit. Now having to start from scratch, as the homeowner, I attempted to prepare the plans myself. I was not entirely familiar with the local building codes and it has been a learning curve. The closures and restrictions of the COVID-19 pandemic then prevented me from meeting with subcontractors who were to help guide me in preparing the plans.

Despite this, I was able to submit a construction application for review this past spring. After several rounds of plan review, I have now hired local architect John Burgdorfer of Studio 200 in Brielle, who has extensive experience with the local codes and application process to assist me.

I kindly ask you to grant my variance extension so Mr. Burgdorfer can bring my plans up to code and I can receive my building permit.

Sincerely,

Evan Shadlun